

**CITY OF PALM COAST CDBG  
HOUSING REHABILITATION PROGRAM  
SCOPE OF SERVICES WRITE-UP/BID FORM**

OWNER: Kristine Durrance

ADDRESS: 8 Carr Lane Palm Coast, FL 32137

PHONE #: 386-503-9561 (Anna)

DATE: July 2013

The work write-up/bid form is a general outline of the work to be performed. Please refer to the project specification booklet product and/or NOA recommendations included in scope of work for detailed instructions for each item noted below. *Take Notice of any attachment pertaining to any Regulated Asbestos Containing Material (RACM) and follow all recommended actions for prevention and/or Disposal. If there are not attachments pertaining to RACM it is reasonable to assume that the RACM was found during testing.*  
**Home Built in 1972. No LBP action required/ACM action required**

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	<b>Special attention:</b> See the attached reports regarding Lead Base Paint and Asbestos. Any recommendations included in the reports regarding such material shall become part of the Work. <b>ALL REHB SHALL INCORPORATE THE HIGHLIGHTED RECCOMENDATIONS</b>	Unit	\$ _____:	
B.	SITWORK	Rehabilitation of unit shall include demolition removal of all construction and replacement debris. All required fill, Re- connects to all existing TV & Phone Jacks. Install 911 addressing as required per local code. Disconnect and re-connect existing system or to community water/sewer systems if available.	All	\$ _____:	

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG/NSP Program Specifications, Florida Building Code, local codes, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

Work must be completed and approved within 45 days of the issuance of the Notice to Proceed.

This unit may or may not require the homeowner to vacate the premises during the construction period. In the case of a demo/replacement unit the program requires that the subject unit will be vacant and shall remain so for the duration of the demolition and reconstruction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from the City of Palm Coast CDBG Administrator and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG program. I also agree that change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Contractor's Name (Print Name): \_\_\_\_\_

Contractor's Signature: \_\_\_\_\_

Contractor's Address: \_\_\_\_\_

Contractor's Phone Number: \_\_\_\_\_

EXHIBIT "A"  
SCOPE OF WORK  
(Work Listed Below)

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor that will be needed to complete each task thoroughly and to each items primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes. Please fill in every line item in each section of this bid. Thanks for your cooperation!!

Contractor Signature: \_\_\_\_\_

**1. General Construction and Operational:**

**1a. Rehabilitation of Structure:**

- To include all: Plans (Surveying & Engineering where required), Fees and Permitting \_\_\_\_\_ \$ \_\_\_\_\_

**1b. Electrical Wiring Network:**

- Inspect and test the housing unit electrical systems and wiring network to ensure that the housing units' circuitry is wired for optimal operation, is free from any immediate fire, health & safety threats and is in compliance with the current NEC. A licensed electrician must complete inspection and the electrical report must be submitted to City of Palm Coast CDBG Housing administrator. *A report showing the findings at the time of inspection will be provided to City of Palm Coast before any payment is made or change order granted.*

- Electrical and wiring network Inspection (only) \$ \_\_\_\_\_ \$ \_\_\_\_\_

- Remove existing and replace electrical panel box. New panel box to provide Minimum 200 amp service and wiring to meet NEC. Installation to include all required components (Main breaker, hot bus, and neutral/ground bus), hardware, and circuitry to ensure a hazard free complete and operational distribution center to all electrical circuits throughout the existing unit.

- Electrical Panel Box (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_

*All subsequent electrical repairs and procedures, including GFCI installations (if determined **AFTER** by inspection results) shall be in compliance with all current NEC, State and Federal regulations.*

**1c. Plumbing Network:**

- Inspect and test the housing Units plumbing lines (taking care to locate the master shut off valve) system(s) to **ensure that they are free of leaks and are in optimal operating order and are able to service the housing unit in the most efficient manner in accordance with the current UPC & Florida Building Code.** Inspection to be performed by a certified licensed and or registered plumbing firm. *A 3<sup>rd</sup> party report showing the findings at the time of inspection will be provided to City of Palm Coast before any payment is made or change order granted. .*

- Plumbing Network Inspection (only) \_\_\_\_\_ \$ \_\_\_\_\_

**2. Exterior Rehabilitation:**

**2a. Pressure Wash**

- Pressure wash exterior walls of home, exterior entry way overhang areas, fascia, soffit, and any porch walls using FGBC green standards and recommended products.

- Exterior (All Walls and overhangs) \_\_\_\_\_ \$ \_\_\_\_\_

**2b. Exterior Painting:**

- Remove any existing nails, tacks, screws, etc... that are embedded in the exterior walls of the home. Repair any cracking, peeling, flaking, or damaged material on exterior walls and repaint all exterior walls using low to zero VOC elastomeric acrylic exterior paint. Owner must be given 3 color choices-1 primary and 1 trim color allowed. (Recommended Product: Eco Protective Products: Platinum Exterior 1000 or equal in value and quality)
- Exterior (All walls, overhands, columns) \_\_\_\_\_ \$ \_\_\_\_\_

**2c. Roofing/Attic:**

- Replace all damaged fascia, soffit with like and code compliant materials. The damaged areas include but are not limited to the following areas of the roof line and eaves: The NE, NW, and SE corners of the roof span. The contractor is responsible for the final liner foot determinations; Installation to include all required hardware and components to ensure code complaint and proper connection. (this includes the removal of all remaining remnant material of the removed rear porch along the posterior roof span)
- Removing existing roofing shingles (**primary unit and carport**) including all deteriorated material and replace with new, 40 year asphalt, dimensional, architectural shingles. Replace sheathing and/or decking, and rafter/trusses top chords. (10%) or as required. Strap all truss edges to the resting block using NOA approved hurricane straps/clips. Replace all vents with like code compliant products and material. Connect roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches o/c in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joint with the roof trusses where applicable. Installation to include new 3"x 3" metal drip edge (with 1/4inch offset from fascia) and flashing shall be installed throughout the entire roof system. One 36" layer of self adhering modified underlayment shall be placed above flashing in all valleys. The new roof system in its entirety shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; **No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer** ;( 5 year warranty required). (Recommended Product: Tamko Algae resistant or equal in value and quality)
- Roof (fascia, Soffit, shingles, ect...) \_\_\_\_\_ \$ \_\_\_\_\_
- Remove any existing and Install new, seamless, white aluminum gutters and downspouts including gutter guards to the existing footprint on the left side, right side, anterior right, and posterior, exterior roofline spans of the unit. Installation to include any and all required hardware to ensure correct and proper operation and to allow proper water flow away from unit; in such a manner to disburse water flow outward to yard grass and foliage as to limit erosion and irrigation where possible. (Recommended Product: Amerimax Home Products or equal in value and quality)
- Gutters \_\_\_\_\_ \$ \_\_\_\_\_
- Remove all existing insulation and Install new high density, partially recycled, natural fiber, rolled batting Insulation to minimum R-30 rating in all accessible areas in unit attic to allow for sound absorption and aid in the prevention of loss of heated and/or cooled conditioned air. (Recommended Product: Owens Corning or equal in value and quality)
- Attic (all accessible areas) \_\_\_\_\_ \$ \_\_\_\_\_

**2d. Windows:**

- Remove all existing and install new vinyl frame (Hurricane Impact Resistant Glass, energy smart rated windows with self storing screens (in existing footprint and style), and white marble sills in the listed areas: Number of Window s, size & dimensions to be determined by contracting firm. Installation shall be to manufactures specifications and include all required hardware and components to ensure intended and proper operation to the current FBC. All windows should match existing window size, style and color (**except where Code prohibits**). (Recommended Product & NOA: Custom Window Systems 8100 Series or equal in value and quality)
- Dining Room: (Approx 1 units) \_\_\_\_\_ \$ \_\_\_\_\_
- Kitchen: (Approx 1 units) \_\_\_\_\_ \$ \_\_\_\_\_
- Master Bedroom: (Approx 1 units) \_\_\_\_\_ \$ \_\_\_\_\_
- Front-Bedroom #2: 9Approx 2 units) \_\_\_\_\_ \$ \_\_\_\_\_
- Bedroom #3: (Approx 1 units) \_\_\_\_\_ \$ \_\_\_\_\_
- Garage Window: (Approx 1 units ) \_\_\_\_\_ \$ \_\_\_\_\_

**2e. Exterior Doors:**

- Remove existing and install new steel, energy smart, NOA hurricane impact rated exterior, RH, Entry/Exit door(s), frame, jamb, and trim to manufacturer's specifications. All doors to include Lever locksets and deadbolts. Doors to be keyed alike. Exact Door dimensions to be determined by contracting firm. (Recommended Entry/Exit Door Product NOA#-PGT Windows and Doors or equal in value and quality) ;( Schlage Lever/Dead Bolt Product: or equal in value and quality)
  - Primary entry/exit door: (1-fan light in swing unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Garage/dwelling entry/exit door: (1 six panel out swing unit) \_\_\_\_\_ \$ \_\_\_\_\_
- Remove existing and install new, steel, NOA approved (Impact Resistant) sliding glass door w/ sliding screen component and security lock to manufacturer's specifications. Include all required framing, trim, weather stripping, threshold, hardware and components to ensure proper installation and operational order. Final door dimensions to be determined by the contracting firm. (Recommended Entry/Exit Door Product: NOA#-PGT Windows and Doors or equal in value and quality)
  - Living Area Sliding Glass Door (1- Existing unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Master Bedroom Sliding Glass Door (1- Existing unit) \_\_\_\_\_ \$ \_\_\_\_\_

**3. Garage/Hot Water Heater:**

**3a. Garage:**

- Remove existing and install (in existing footprint) new Vinyl, NOA hurricane rated two (2) car garage door, frame, weather stripping, trim, and all required components to manufacturer's specifications. Door shall contain exterior key lock set and be keyed to like. Exact door dimensions to be determined by contracting firm. Recommended Garage Door Product NOA#-Wayne Dalton or equal in value and quality) ;( Schlage lock set Product: or equal in value and quality)
  - Two car Garage Entry Door (1- Existing unit Footprint) \_\_\_\_\_ \$ \_\_\_\_\_
- Install new, minimum ½ HP, chain drive garage door opening mechanism/system; Installation to include all components and hardware to ensure complete operational order, as well as all sensors, openers, locks, tracks, and overhead lighting, ECT.... Exact garage door opening system dimensions to be determined by contracting firm. Door not included (Recommended Product: Chamberlin Products or equal in value and quality)
  - Primary Unit Garage door opening system (1-unit) \_\_\_\_\_ \$ \_\_\_\_\_

**3b. Plumbing:**

- Remove existing hot water heater and replace with new, touch screen electronic user interface, energy star rated, 40 Gallon hot water heater with duel combination 240 volt, 4500 watt heating elements, water supply valves, and pressure relief valve with 3/4" copper piping. Sweat solders the copper fittings to connect the new water heater. The electrical connection shall be hard wired. Ensure that the new heater is in optimal operating order and is able to service the housing unit in the most efficient manner in accordance with the current code. Installation shall be to manufacturer's specifications and shall include all required hardware and components. (Recommended Product: Whirlpool Model #: ES40R92-45D or equal in value and quality)
  - Hot Water Heater (1 Unit) \_\_\_\_\_ \$ \_\_\_\_\_

**4. Electrical/HVAC:**

**4a. Smoke/Carbon Monoxide Detectors:**

- Remove (where existing) and install new, hardwired with battery back-up smoke/C02 detectors in the areas listed; installation to include all required circuitry and hardware to meet the most current required applicable fire and electric codes. (Recommended Product: First Alert or equal in value and quality)
  - Living Area/Foyer (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Master Bedroom (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Front-Bedroom #2 (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Bedroom #3 (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Left side Hallway (1 units) \_\_\_\_\_ \$ \_\_\_\_\_

**4b. HVAC:**

- Remove existing and install new minimum 2.5 ton (or as required per energy calcs) 14 SEER split central heating and air conditioning system with electric heat pump (strip sized to accommodate the housing unit's living space). **Rheem Prestige Series or approved equal in value and quality.**

The system is to include service to all habitable rooms (with replacing all existing ducts/plenums: **Owens Corning or approved equal**), compressor air handler, piping ,Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

**Note:** Contractor shall provide drawings, energy calculations, and documents as required to perform the scope of work.

- All habitable rooms ( Approx 1 complete unit including ductwork)\_\_\_\_\_ \$\_\_\_\_\_

**5. General Interior Rehabilitation**

**5a. Interior Painting:**

- Remove/scrape all pop corned ceilings throughout the house- **Take note of the ACM report.** Repair any cracks or damaged areas to the ceilings including but not limited to the following areas: Foyer entry way and Master Bath. The final ceiling surface shall be flat/smooth.
- Remove any existing nails, tacks, screws, wall paper, etc... that are embedded in the interior walls of the home. Repair and seal any damaged/cracking walls as required, "Kilz", prime, and repaint all interior walls of the unit, including all closet walls (**bedroom, storage, utility**), baseboards, ceilings, molding (where applicable). ; Interior finish should be flat/smooth texture. Apply one (1) coat of acrylic primer/sealer to the affected areas and paint corner to corner with two (2) coat of acrylic finish paint to match existing using zero-low VOC interior paint.. Homeowner must be given a minimum of three color choices. **(Recommended Paint Product type: Eco Protective Products: Eco Accents 5000 flat or product of equal quality and value)**

- Interior walls ( All walls, trim, ceilings, molding, ect)\_\_\_\_\_ \$\_\_\_\_\_

**5b. Flooring:**

- Remove existing floor covering in the specified areas below and replace (including closets) with new 10mm wood laminate floor covering with attached premium. Laminate product should contain SureLock technology, PermaMax wear layer, and Scratch Guard to limit wearing, scuffing, and scratching. Installation to be complete and include all required components, to ensure installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* **(Recommended carpet product: Pergo XP or equal in quality and value)**

- Master Bedroom (complete area) \_\_\_\_\_ \$\_\_\_\_\_
- Front Bedroom #2 (complete area) \_\_\_\_\_ \$\_\_\_\_\_

**6. Bedrooms Misc:**

**6a. Master Bedroom:**

- Remove existing and install new, white, high efficiency 52" ceiling fan with light kit. Installation should be to manufacturer's specifications and include all required circuitry and hardware to ensure complete and operational order. *Exact unit dimensions to be determined by the contracting firm.* **(Recommended Product Hampton Bay or equal in value and quality)**

- Master Bedroom (1 Unit) \_\_\_\_\_ \$\_\_\_\_\_

**6b. Front-Bedroom #2:**

- Remove existing and install new, white, high efficiency 52" ceiling fan with light kit in existing overhead portal. Installation should be to manufacturer's specifications and include all required circuitry and hardware to ensure complete and operational order. *Exact unit dimensions to be determined by the contracting firm.* **(Recommended Product Hampton Bay or equal in value and quality)**

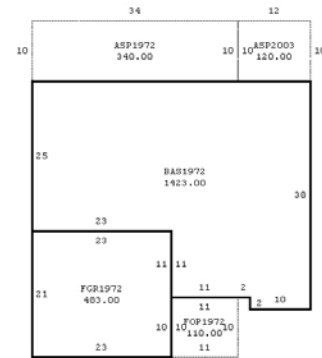
- Bedroom #2 (1 unit) \_\_\_\_\_ \$\_\_\_\_\_

**6c. Bedroom #3 :**

- Remove existing and install new, white, high efficiency 52" ceiling fan with light kit in existing overhead portal. Installation should be to manufacturer's specifications and include all required circuitry and hardware to ensure complete and operational order. *Exact unit dimensions to be determined by the contracting firm. (Recommended Product Hampton Bay or equal in value and quality)*
  - Bedroom #3 (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_
  
- Install new, louvered, composite wood, white bi-fold utility closet doors. Installation to include all required hardware, tracks, and components to ensure complete and proper operation. Exact number and dimensions of doors to be determined by contracting firm. *(Recommended Product: Reliablit or equal in value and quality)*
  - Bedroom #3 (1 set) \_\_\_\_\_ \$ \_\_\_\_\_

**-END-**

----- EXISTING DWELLING FOOTPRINT -----



Sketch by Apex 5/11

**Total bid amount of Labor and Material cost above** \_\_\_\_\_ \$ \_\_\_\_\_

(Minus) Contractors Discount \_\_\_\_\_ \$ \_\_\_\_\_

Adjusted value of This Agreement \_\_\_\_\_ \$ \_\_\_\_\_

**\*\*Special Notes\*\***

*If applicable, contractor will attempt to match existing items that are being used or provided by the Homeowner as close as possible. Please note it will be impossible to exact match any items that are of a certain date or discontinued. Any and all products included in this scope of work or used in the rehabilitation of corresponding Housing unit(s) shall be installed to the manufactures specifications and all other applicable codes outlined in the Program rehabilitation Specifications.*

*All products included in this scope of work shall be installed to the manufactures specifications.*

All NOA product numbers can be found at [www.miamidade.gov/buildingcode/pc-search\\_app.asp](http://www.miamidade.gov/buildingcode/pc-search_app.asp)

All products with no NOA # number can be found at [www.homedepot.com](http://www.homedepot.com), [www.lowes.com](http://www.lowes.com), or other retail outlets where such products are sold

*All product brands specified in this scope of work should be used whenever possible, however it is not mandatory to use the specified product brands set forth in this scope of work if the contracting firm can provide reasonable documentation that a product of equal value and quality was responsibly substituted when and/or where necessary.*

HOMEOWNER SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

CO-OWNER SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

My signature above reflects my understanding and acceptance of the total initial labor and material cost of \$ \_\_\_\_\_ associated with the aforementioned scope of work. I also understand and accept the possibility that this initial cost can change in unanticipated additional labor or material must be provided by the **CONTRACTOR** for the aforementioned scope of work.

CONTRACTOR Signature: \_\_\_\_\_

DATE: \_\_\_\_\_

City Representative Signature: \_\_\_\_\_

DATE: \_\_\_\_\_

**OFFICIAL USE ONLY**

DATE SUBMITTED: \_\_\_\_\_ DATE ACCEPTED: \_\_\_\_\_ DATE OPENED: \_\_\_\_\_

BID OPENED BY: \_\_\_\_\_ WITNESSED BY: \_\_\_\_\_

TIME: \_\_\_\_\_ WORK WRITE-UP PREPARED BY: Antonio Jenkins Date: **04/29/2013**