

**CITY OF PALM COAST CDBG  
HOUSING REHABILITATION PROGRAM  
SCOPE OF SERVICES WRITE-UP/BID FORM**

**OWNER:** Dorothy Zirkelbach

**ADDRESS:** 26 Cormorant Ct. Palm Coast, FL 32135

**PHONE #:** 386-445-2062

**DATE:** August 13, 2013

The work write-up/bid form is a general outline of the work to be performed. Please refer to the project specification booklet product and/or NOA recommendations included in scope of work for detailed instructions for each item noted below. Take Notice of any attachment pertaining to any Regulated Asbestos Containing Material (RACM) and follow all recommended actions for prevention and/or Disposal. If there are not attachments pertaining to RACM it is reasonable to assume that the RACM was found during testing.  
**Home Built in 1984. NO-LBP/ACM action required.**

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	<b>Special attention:</b> Contractor responsible for procuring, and providing reports regarding Lead Base Paint and Asbestos. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	N/A	
B.	SITWORK	Rehabilitation of unit shall include demolition removal of all construction and replacement debris. All required fill, Re- connects to all existing TV & Phone Jacks. Install 911 addressing as required per local code. Disconnect and re-connect existing system or to community water/sewer systems if available.	All	\$	

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG Program Specifications, Florida Building Code, local codes, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

Work must be completed and approved within 90 days of the issuance of the Notice to Proceed.

This unit may or may not require the homeowner to vacate the premises during the construction period. In the case of a demo/replacement unit the program requires that the subject unit will be vacant and shall remain so for the duration of the demolition and reconstruction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from the City of Palm Coast CDBG Administrator and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG program. I also agree that change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

**Contractor's Name (Print Name):** \_\_\_\_\_

**Contractor's Signature:** \_\_\_\_\_

**Contractor's Address:** \_\_\_\_\_

**Contractor's Phone Number:** \_\_\_\_\_

**EXHIBIT "A"**  
**SCOPE OF WORK**  
*(Work Listed Below)*

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor that will be needed to complete each task thoroughly and to each items primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.  
Please fill in every line item in each section of this bid. Thanks for your cooperation!!

**NOTE: The new unit must meet all CRA and Land Development Code (LDC) requirements.**

CRA/LDC Information pertaining to minimum requirements for the construction of a new home can be found in the following locations:  
Website: <http://library.municode.com/index.aspx?clientId=13605>

CRA/LDC Glossary:

Minimum square footage of a replacement home ( dimensional standards are the same; it's treated like a new home)  
Information is located in chapter 3 Table 3-3 of the Land Development code (1,200 sq. ft.)

Driveway and landscaping requirements; 3. Garage requirements: including size and attached or detached;  
Information regarding driveways and Garages are located Chapter 4 subsection 4.01.03 and Chapter 5 subsection 4.04.C.05.  
Landscaping requirements are located in the technical manual section 3 pages 27-29 talks about residential landscaping with examples.

Architectural requirements  
Information regarding Architectural on single family is located in the Technical Manuel section 2 B-C pages 1-16. Also LDC Chapter 13 subsection 13.02-13.04

Set back requirements  
Information is located in chapter 3 Table 3-3 of the Land Development code (F20, R6.5, S7.5)

Contractor Signature: \_\_\_\_\_

**General Construction and Operational:**

**Rehabilitation of Structure:**

- To include all: Fees (Surveying & Engineering where required) and Permitting \_\_\_\_\_ \$ \_\_\_\_\_

**1. New Structure- Exterior:**

**1a. The new home shall consist of the following:**

- (a) Minimum 1,200 sq. ft, 3 bedrooms/closets, 2 bath, kitchen (with pantry)/dining room combination, living room, utility room, hallway utility closet.

- (b) A minimum of four (4) Exterior walls painted with one main color and one trim color; and covered partially enclosed front porch (min. 10x10)

- **Exterior low VOC paints: (Owner to be given a minimum of 3 color selections)**

Buildings shall include substantial variation in massing such as changes in height and horizontal plane. Massing shall be included for each 50 linear feet of wall that exceeds 50 feet in length.

Articulation shall be included for each 50 linear feet of wall that exceeds feet in length.

- (c) Two (2) car garage: minimum (20ft in depth and 21ft wide): to include:

New steel, NOA hurricane rated two (2) car garage door, frame, weather stripping, trim, and all required components to manufacturer's specifications. Door shall contain exterior key lock set and be keyed to like. Exact door dimensions to be determined by contracting firm. **Recommended Garage Door Product NOA#-Wayne Dalton or equal in value and quality) ;( Schlage lock set Product: or equal in value and quality)**

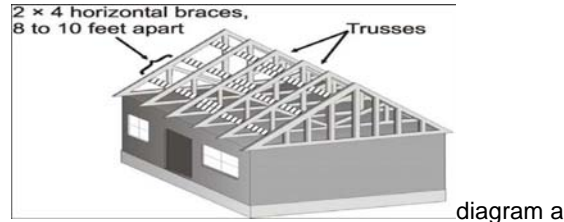
New, minimum ½ HP, chain drive garage door opening mechanism/system; Installation to include all components and hardware to ensure complete operational order, as well as all sensors, openers, locks, tracks, and overhead lighting, ECT.... Exact garage door opening system dimensions to be determined by contracting firm. **(Recommended Product: Chamberlin Products or equal in value and quality)**

- (d) Minimum 3,000 PSI concrete slab on grade materials, or equal, CMU walls, or equal with stucco finish **Concrete foundation and CMU walls must be weather proofed)**
- (e) Shingled hip roof with vinyl vented soffits, new fungal decay and termite resistant, aluminum covered fascia board, all required roof vents. Connect trusses with cross bracing (see diagram a) roof sheathing to the roof framing with eight-penny weight ring shank nails. Space them four inches apart along the edges, and six inches o/c in the middle, of the plywood sheathing. Use wood adhesive underneath the sheathing along the connecting joint with the roof trusses where applicable. Installation to include new 3"x 3" metal drip edge (with 1/4inch offset from fascia) and flashing shall be installed throughout the entire roof system. One 36" layer of self adhering modified underlayment shall be placed above flashing in all valleys. The entire new roof system shall conform to building code of jurisdiction Homeowner must be given a minimum of three color/style selection choices; **No fasteners shall penetrate into the fascia or 1x2 wood drip edge nailer ;( 5 year warranty required).** **(Recommended Product: Tamko Algae resistant or equal in value and quality)**

**-30 year architectural dimensional asphalt shingles: (Owner to be given a minimum of 3 color selections)**

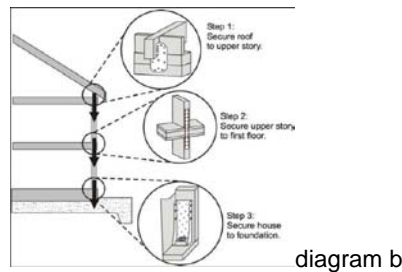
Roof reinforcement to include the creation of a continuous load path to include the following actions:

- Rafter to top plate connection ( at each corner and in center of each wall )
- Top plate to stud connection ( at each corner and in center of each wall )
- 5:12 roof pitch for entire unit with a 2 foot overhang beyond any exterior building wall.



**Continuous Load Path Creation:**

- Create a continuous load path from the roof to the floor of the unit in order to unify the vertical structure of the house to ensure resistance of hurricane force winds. Anchor the house roof to the walls, and the walls to the foundation. By using the required code compliant hurricane straps for the roof-to-wall and floor-to-floor connections, and anchor bolts for the wall-to-foundation connections (as described in Diagram b. below/Diagram is for 2 story unit. Disregard the non applicable 2<sup>nd</sup> floor). All strapping must meet Miami Dade NOA approval.



**Note:** The contractor is required to provide a written affidavit stating that all of the above stating roofing specifications were met to the City of Palm Coast for program file records.

**1b. Doors:**

The new unit shall include: One (1) front and one (1) garage, and one (1) rear entry/exit door with lever handles and security locks.

Front door shall include bolt and keyed alike. All exterior must meet NOA impact rating product approval.

- Primary entry door to be 36" RH six panel steel door; out-swing door (to include peep hole)  
(Owner must be given a minimum of 3 color choices for painting of exterior door)
- Garage entry door to be 36" RH six panel steel door: in-swing door
- Rear or entry steel frame sliding glass door with sliding screen component.

**1c. Landscaping:** (care shall b taken not to disturb the existing sprinkler/irrigation system or vegetation not in the immediate proximity of the dwelling where possible)

Sod and shrubbery to meet the minimum LDC requirements, but not less than the following:

Sod planted at the base and spanning the length of all exterior walls, extending out a minimum of 36in, and grass seed spread throughout the remainder of non grass covered yard for an addition 60 inches in each direction.

\_\_\_\_\_ \$ \_\_\_\_\_

**2. Windows: Recommended product PGT Windows and Doors or equal in quality and value**

Windows shall be white, vinyl frame, single hung/double pane argon insulated and meets Miami/Dade NOA Impact Specifications: NOA approval number must be provide prior to window installation. Custom Window Systems 8100 Series or approved equal product.

- There shall be a minimum of 1 window in the following areas: (minimum egress must be met)
  - Master bedroom (must be sized to meet egress)
  - Bedroom #2 and #3 (must be sized to meet egress)
  - Living room (must be sized to meet egress)
  - Kitchen/Dining room area
  - Bathroom (Must be tempered and obscured glass)

○ Windows ( as listed above)\_\_\_\_\_ \$ \_\_\_\_\_

Windows shall be in harmony with and proportionate to the rest of the structure. Windowless exterior walls that face public rights-of-way are prohibited. Fifteen (15) percent of each wall shall have windows. Maximum reflectance permitted: 15-Minimum transmittance required: 35

- (b) New horizontal hanging, white vinyl, vertical sliding blinds over all windows:\_\_\_\_\_ \$ \_\_\_\_\_
- (c) New vertical hanging, horizontal sliding blinds over sliding glass door:\_\_\_\_\_ \$ \_\_\_\_\_

**3. Interior:**

The new homes interior shall consist of the following:

- (a) Plaster or drywall walls (all walls shall be knockdown texture and painted one color)  
- Interior low VOC paints: (Owner to be given a minimum of 3 color selections)

- (b) Knockdown textured Ceilings (ceilings of each room shall be painted one color)

○ Walls and Ceilings (As listed in items a &b and including garage)\_\_\_\_\_ \$ \_\_\_\_\_

(c) New, minimum 10mm wood laminate flooring, with attached underlayment, SureLock, PermaMax wear layer, and Scratch Guard technology in living room, bedrooms and all hallways.) (Recommended carpet product: Pergo XP or equal in quality and value) -Owner must be given a minimum of 3 style and color selections

(d) New slip resistant, 12X12 Ceramic tile flooring in all baths, the kitchen, and utility room. (Recommended tile product: American Clean or equal in quality and value) -Owner must be given a minimum of 3 style and color selections

○ Flooring (As listed in items c &d)\_\_\_\_\_ \$ \_\_\_\_\_

(e) All required interior doors, knobs for bedrooms, bathrooms, closets, pantries, utility areas etc. (interior doors for bed rooms shall six panel be wood composite and painted; storage/closet doors shall be white wooden, louvered bi-fold); Bedroom and bathroom doors must include a locking mechanism) \_\_\_\_\_ \$ \_\_\_\_\_

**-Owner must be given a minimum of 3 color selections where color is not specified:** Schlage or approved equal product: (All interior door ways to bedrooms and bathrooms must be 36" door units, and 90 degree opening radius and RH in swing doors:

**4. Insulation:**

The new homes interior wall and ceiling insulation shall consist of the following: Owens Corning or approved equal product.

- (a) Wall insulation must be a minimum of R-19. \_\_\_\_\_ \$ \_\_\_\_\_
  - (b) Attic/Ceiling insulation must be a minimum of R-30. \_\_\_\_\_ \$ \_\_\_\_\_
- attic insulation to be partially recycled, natural fiber blown Insulation**

**5. Electrical System:**

The new homes electrical systems and appliance package shall consist of the following:

- Minimum 200 amp service and wiring to meet NEC. (Note: electric service shall be located on side or rear of house) to best accommodate the existing electrical service and utility service location.
- (b) All electrical panel, switches, outlets, and fixtures as required by NEC and the current Florida Building code

5a. Electrical outlets must be tamper proof design.

5b. Permanent overhead, energy star, lighting fixtures must be installed in the following:

- Master bedroom (Fan/Light Kit)
- Bedroom #2 and #3 (Fan/Light Kit)
- Living room area (Fan/Light Kit)
- Bathroom (Overhead Flush mount Domed fixture) and vent fan
- Kitchen (4ft 2 bulb florescent light fixture)
- At Front and Rear or Entrance (Wall Mounted exterior sconce Lamp)

○ Electrical and Lighting System (As listed above) \_\_\_\_\_ \$ \_\_\_\_\_

- (c) Install new smoke/C02 detectors and required circuitry to code in living area, bedrooms, and hallways outside of Each bedroom (required units) \_\_\_\_\_ \$ \_\_\_\_\_
- Smoke/C02 detector must operate on 110 volts with battery back-up**

- (d)Install new GFI receptacles/switches with dedicated arc circuit to NEC in kitchen and Bathroom(s) in outlets nearest sink(s) (required units) \_\_\_\_\_ \$ \_\_\_\_\_

**6. HVAC System: Recommended product Trane or equal in quality and value**

The new homes HVAC system shall consist of the following:

- New minimum 2.5 ton (or as required per energy calcs) 14 SEER split central heating and air conditioning system with electric heat pump (strip sized to accommodate the housing unit's living space). Rheem Prestige Series or approved equal in value and quality.

The system is to include service to all habitable rooms with all required ductwork (Owens Corning or equal), compressor air handler, Air handler closet, piping ,Electrical service connects/disconnects, programmable thermostat , air returns, registers, and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

**Note:** Contractor shall provide drawings, energy calculations, and documents as required to perform the scope of work.

\_\_\_\_\_ \$ \_\_\_\_\_

**7. Plumbing: Recommended product American Standard or equal in quality and value**

The new homes plumbing system shall consist of the following:

All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes).

The new homes plumbing system shall consist of the following: *(American Standard or approved equal product where applicable)*

All plumbing material and workmanship must comply with and be installed in accordance with all current applicable plumbing codes).

- (a) **Master bath:** Walk in shower with hardy board backing, ceramic tile walls, and slip resistant tile flooring construction (including all fixtures) in all bathrooms
  - 1. **Faucets and shower head must be low flow(2gpm) and contain scald prevention controls:**
  - 2. **Tub to be approx 60" long X 30 wide X17.5 deep.**
- (b) **Bath #2:** Tub/shower combination with hardy board backing, ceramic tile wall construction (including all fixtures) in all bathrooms
  - 1. **Faucets and shower head must be low flow (2gpm) and contain scald prevention controls:**
- (b) Kitchen sink (Double bowl, including all fixtures)
- (c) Washer and dryer hook ups (if space enclosed must have louvered bi-fold doors at entry)
- (d) Toilet (Handicapped Height, Approx 18in) in all bathrooms (1.6gpf)
  - Interior Plumbing System (As listed above) \_\_\_\_\_ \$ \_\_\_\_\_
- (e) Re-establish existing connection to existing municipal or required water or water system. \_\_\_\_\_ \$ \_\_\_\_\_
- (f) Re-establish existing connection to existing or required municipal sewer system. \_\_\_\_\_ \$ \_\_\_\_\_

**8. Cabinets**

The new homes cabinet network shall consist of the following:

- (a) A minimum 10' of base cabinets and countertops, and 8' of wall cabinets in kitchen \_\_\_\_\_ \$ \_\_\_\_\_  
**-Owner must be given a minimum of 3 style and color selections**
- (b) Bathroom vanities with underneath storage and a minimum of one pull out drawer; Including sink, fixtures, medicine cabinet, vanity mirror, and 3 bulb bar lighting above the vanity mirror in all bathrooms \_\_\_\_\_ \$ \_\_\_\_\_  
**-Owner must be given a minimum of 3 style and color selections**  
**- Low flow (2gpm) Center set, two handle Lavatory faucet with speed connect drain**

**Cabinet Requirements:**

- Cabinets shall be standard in size, style and finish and all shall include doors, drawers, hinges, handles and closures and be securely installed.
- Wall and base cabinetry shall be constructed of no less than (3/8) three eights in thick plywood. Pressed board or engineered wood is not acceptable.
- Shelves shall not be less than (3/8) three eights inch thick and support no less than (25) twenty-five pounds per linear foot.
- Vertical surfaces of cabinets (front, sides, doors, and drawers) shall be clad with plastic laminate or sealed with varnish, shellac, lacquer, polyurethane or oil based enamel paint.
- Base cabinets and vanities which abut a wall shall be provided with back splashes, including side splashes for corner walls. Counter tops and back splashes shall be clad with plastic laminate of a quality equal to Formica HPG or better and no less than five-hundredths (.05) of an inch in thickness.
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**Kitchen Base Cabinets:**

- Counter top shall be no less than (25) twenty-five inches in depth, width or protrusion. Counter top shall include a back splash around the perimeter abutting a wall of no less than (4) four inches in height.
- Base cabinets, including counter tops shall be (36) thirty-six inches in height, and toe recess shall be provided.
- Drawers shall be provided in at least one base cabinet. Drawers shall be at least (21) twenty-one inches long and (5 ¼) five and one-fourth inches deep.

**Kitchen Wall Cabinets:**

- Wall cabinets shall be no less than (12) twelve inches in depth.
- Wall cabinets installed over a counter or base cabinet shall be installed no less than (15) fifteen inches nor more than (18) eighteen inches above the counter or base cabinet.
- Cabinets shall be no less than the following vertical lengths:
  - Over base cabinet – 30 inches
  - Over range or sink – 20 inches
  - Over refrigerator – 15 inches

**9. Appliance Package (Must be energy star rated): Recommended Product Whirlpool or equal in quality and value**

The new homes appliance package shall consist of the following: (White or Black)

- (a) New 30 inch (4) burner ceramic glass top Electric Stove, with digital display, and self cleaning oven.
- (b) New minimum 30 inch ducted range hood.
- (c) New energy saver, electric 40 gallon, electronic interface dual element hot water heating system.
- (d) New minimum 21 cu. ft. energy star, top freezer, frost-free refrigerator with internal ice maker.

**-Ice line to be included in plumbing installation.**

**\*All appliances must be installed and in proper operational order in accordance with manufacturer specs.**

- Appliance Package as (As listed above) \_\_\_\_\_ \$ \_\_\_\_\_

**10. Miscellaneous:**

The Following items shall also be included with the new home:

- (a) Installation of two (2) towel bars (1 inside shower unit and 1 on the interior bathroom wall)
  - (b) Installation of two (2) Stainless Steel safety grab bars: (18 in. x 1-1/2 in. Concealed-Screw Grab Bar able to support up to 500 lb.) inside the tub and/or shower structure (one along the rear wall and another on the largest wall span)
  - (c) Toilet paper holder
- \*A, B, and C applicable to all bathrooms**
- (d) Minimum 5' X 5' concrete pads at exterior entrances
  - (e) 911 addressing mounted above or on front exterior entry door
  - (f) Wire house for cable TV in living room and all bedrooms.
  - (g) Wire house for phone jacks in living room master bath, and kitchen.
  - (h) New white vinyl finish super slide linear shelving along the right, rear, and left walls in all closets and storage areas.

- Miscellaneous Package as (As listed above) \_\_\_\_\_ \$ \_\_\_\_\_

----- SAMPLE DWELLING FOOTPRINT -----

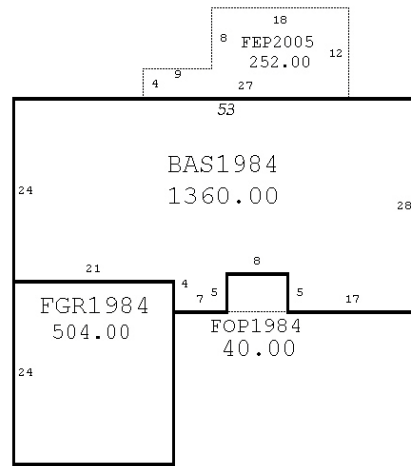
**\*Drawing below is not to scale and is only a suggested representation of what is desired by the program: This is only a rough diagram\***



-----EXISTING DWELLING FOOTPRINT-----



Sketch by Apex IV™



**Total bid amount of Labor and Material cost above \_\_\_\_\_ \$ \_\_\_\_\_**

**\*\*Special Notes\*\***

If applicable, contractor will attempt to match existing items that are being used or provided by the Homeowner as close as possible. Please note it will be impossible to exact match any items that are of a certain date or discontinued. Any and all products included in this scope of work or used in the rehabilitation of corresponding Housing unit(s) shall be installed to the manufactures specifications and all other applicable codes outlined in the Program rehabilitation Specifications.

All products included in this scope of work shall be installed to the manufactures specifications.

All NOA product numbers can be found at [www.miamidade.gov/buildingcode/pc-search\\_app.asp](http://www.miamidade.gov/buildingcode/pc-search_app.asp)

All products with no NOA # number can be found at [www.homedepot.com](http://www.homedepot.com), [www.lowes.com](http://www.lowes.com), or other retail outlets where such products are sold

All product brands specified in this scope of work should be used whenever possible, however it is not mandatory to use the specified product brands set forth in this scope of work if the contracting firm can provide reasonable documentation that a product of equal value and quality was responsibly substituted when and/or where necessary.

Owner by signature acknowledges that all other ADA accessibility items were covered and reviewed, and subsequently determined not to be needed.

HOMEOWNER SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

CO-OWNER SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

My signature above reflects my understanding and acceptance of the total initial labor and material cost of \$ \_\_\_\_\_ associated with the aforementioned scope of work. I also understand and accept the possibility that this initial cost can change in unanticipated additional labor or material must be provided by the **CONTRACTOR** for the aforementioned scope of work.

CONTRACTOR Signature: \_\_\_\_\_

DATE: \_\_\_\_\_

County Representative Signature: \_\_\_\_\_

DATE: \_\_\_\_\_

**OFFICIAL USE ONLY**

DATE SUBMITTED: \_\_\_\_\_ DATE ACCEPTED: \_\_\_\_\_ DATE OPENED: \_\_\_\_\_

BID OPENED BY: \_\_\_\_\_ WITNESSED BY: \_\_\_\_\_

TIME: \_\_\_\_\_ WORK WRITE-UP PREPARED BY: Antonio Jenkins Date: **8/13/2013**