

**CITY OF PALM COAST CDBG  
HOUSING REHABILITATION PROGRAM  
SCOPE OF SERVICES WRITE-UP/BID FORM**

**OWNER:** Dessie Williams

**ADDRESS:** 66 Postview Dr. Palm Coast, FL 32164

**PHONE #:** 386-931-8492 or 386-437-6778

**DATE:** August 13 2013

The work write-up/bid form is a general outline of the work to be performed. Please refer to the project specification booklet product and/or NOA recommendations included in scope of work for detailed instructions for each item noted below. Take Notice of any attachment pertaining to any Regulated Asbestos Containing Material (RACM) and follow all recommended actions for prevention and/or Disposal. If there are not attachments pertaining to RACM it is reasonable to assume that the RACM was found during testing.  
**Home Built in 2002. No LBP action required/ACM action required**

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	<b>Special attention:</b> See the attached reports regarding Lead Base Paint and Asbestos. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	N/A	
B.	SITework	Rehabilitation of unit shall include demolition removal of all construction and replacement debris. All required fill, Re- connects to all existing TV & Phone Jacks. Install 911 addressing as required per local code. Disconnect and re-connect existing system or to community water/sewer systems if available.	All	\$_____:	

**THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID**

All work to be performed in a workmanlike manner, in accordance with the CDBG/NSP Program Specifications, Florida Building Code, local codes, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

Work must be completed and approved within 45 days of the issuance of the Notice to Proceed.

This unit may or may not require the homeowner to vacate the premises during the construction period. In the case of a demo/replacement unit the program requires that the subject unit will be vacant and shall remain so for the duration of the demolition and reconstruction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of Guardian CRM, Inc. under direct authorization from the City of Palm Coast CDBG Administrator and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the CDBG program. I also agree that change orders above the original contract amount shall only be paid for with CDBG funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

**Contractor's Name (Print Name):** \_\_\_\_\_

**Contractor's Signature:** \_\_\_\_\_

**Contractor's Address:** \_\_\_\_\_

**Contractor's Phone Number:** \_\_\_\_\_

**EXHIBIT "A"**  
**SCOPE OF WORK**  
*(Work Listed Below)*

**NOTICE TO BIDDING CONTRACTORS:**

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor that will be needed to complete each task thoroughly and to each items primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.  
Please fill in every line item in each section of this bid. Thanks for your cooperation!!

Contractor Signature: \_\_\_\_\_

**1. General Construction and Operational:**

**Foundation Repair: See the Exhibit A:**

- Contractor shall schedule with the approved foundation repair firm to complete rehabilitation services as outlined in option two (2) of the aforementioned **Exhibit A**.

**Note:** For the purposes of this bid **Exhibit A** is recommended but not required. Each contractor may solicit additional quotes from the firms listed in **Exhibit B** or of their own choosing. Any firm used must provided current license and insurance documentation.

For the purposes of this bid round, the cost estimate for this property shall be determined in part on the quote listed in option 2 of **Exhibit A**.

**The following work shall occur only after all foundation repairs have been completed and certified by the foundation repair firm and any jurisdictional governing body. A certification statement and warranty must be provided prior to any additional rehabilitation work is to commence.**

Contractor Signature: \_\_\_\_\_ Date: \_\_\_\_\_

**1a. Rehabilitation of Structure:**

- To include all: Plans (Surveying & Engineering where required), Fees and Permitting \_\_\_\_\_ \$ \_\_\_\_\_

**1b. Electrical Wiring Network:**

- Inspect and test the housing unit electrical systems and wiring network to ensure that the housing units' circuitry is wired for optimal operation, is free from any immediate fire, health & safety threats and is in compliance with the current NEC. A licensed electrician must complete inspection and the electrical report must be submitted to City of Palm Coast CDBG Housing administrator. *A report showing the findings at the time of inspection will be provided to City of Palm Coast before any payment is made or change order granted.*

- Electrical and wiring network Inspection (only)\$ \_\_\_\_\_ \$ \_\_\_\_\_

*All subsequent electrical repairs and procedures, including GFCI installations (if determined **AFTER** by inspection results) shall be in compliance with all current NEC, State and Federal regulations.*

**1c. Plumbing Network:**

- Inspect and test the housing Units plumbing lines (taking care to locate the master shut off valve) system(s) to **ensure that they are free of leaks and are in optimal operating order and are able to service the housing unit in the most efficient manner in accordance with the current UPC & Florida Building Code.** Inspection to be performed by a certified licensed and or registered plumbing firm. *A 3<sup>rd</sup> party report showing the findings at the time of inspection will be provided to City of Palm Coast before any payment is made or change order granted. .*
  - Plumbing Network Inspection (only) \_\_\_\_\_ \$ \_\_\_\_\_

**1d. Roofing System:**

- Inspect and test the housing units roofing system (shingles, underlayment, decking, vents, flashing, fascia/soffit, ECT...) and truss network to ensure that the system meets all current code requirements and is in optimal operational order , is free from any immediate leaks, health & safety threats *(take note of evidence of moisture on left side of the kitchen ceiling)* A licensed roofer must complete inspection and the report must be submitted to the Palatka Housing Authority NSP Program Administrator. *A report showing the findings at the time of inspection will be provided to Putnam County before any payment is made or change order granted.*
  - Roof (as listed ) \_\_\_\_\_ \$ \_\_\_\_\_
- Install new, seamless, white aluminum gutters and downspouts including gutter guards to the existing footprint on the front (excluding gable end/entry overhang), right, rear, and left side exterior roofline spans of the unit. Installation to include any and all required hardware to ensure correct and proper operation and to allow proper water flow away from unit; in such a manner to disburse water flow outward to yard grass and foliage as to limit erosion and irrigation where possible. **(Recommended Product: Amerimax Home Products or equal in value and quality)**
  - Gutters \_\_\_\_\_ \$ \_\_\_\_\_

**2. Exterior Rehabilitation:**

**2a. Pressure Wash**

- Pressure wash exterior walls of home, exterior entry way overhang areas, fascia, soffit, and any porch walls using FGBC green standards and recommended products.
  - Exterior (All Walls and overhangs) \_\_\_\_\_ \$ \_\_\_\_\_
- Remove all existing insulation and Install new high density, partially recycled, natural fiber, rolled batting Insulation to minimum R-30 rating in all accessible areas in unit attic to allow for sound absorption and aid in the prevention of loss of heated and/or cooled conditioned air. **(Recommended Product: Green Fiber or equal in value and quality)**
  - Attic (all accessible areas) \_\_\_\_\_ \$ \_\_\_\_\_

**2b. Windows:**

- Remove all existing and install new vinyl frame (Hurricane Impact Resistant Glass, energy smart rated windows with self storing screens, and white marble sills in the listed areas: Number of Window s, size & dimensions to be determined by contracting firm. Installation shall be to manufactures specifications and include all required hardware and components to ensure intended and proper operation to the current FBC. All windows should match existing window size, style and color **(except where Code prohibits).** **(Recommended Product & NOA: Custom Window Systems 8100 Series or equal in value and quality)**
  - Front Elevation: (Approx 2 units) \_\_\_\_\_ \$ \_\_\_\_\_
  - Rear Elevation: (Approx 3 units) \_\_\_\_\_ \$ \_\_\_\_\_
  - Left side Elevation: (Approx 1 units) \_\_\_\_\_ \$ \_\_\_\_\_

- Remove any existing and install new 2.5", white faux wood, vertical sliding blinds over all windows (excluding obscured bathroom window) throughout the housing unit. Installation should be to manufacturer's specifications and include all required components and hardware to ensure complete and operational order. *Exact number of blinds and dimensions to be determined by the contracting firm. (Recommended Product: Home Decorators Collection or equal in value and quality)*
  - All windows (Approx 6 Units) \_\_\_\_\_ \$ \_\_\_\_\_

**2c. Exterior Doors:**

- Remove existing and install new steel, energy smart, NOA hurricane impact rated exterior, RH, out-swing Entry/Exit door(s), frame, jamb, and trim to manufacturer's specifications. All doors to include Lever locksets and deadbolts. Doors to be keyed alike. Exact Door dimensions to be determined by contracting firm. *(Recommended Entry/Exit Door Product NOA#-PGT Windows and Doors or equal in value and quality) ;( Schlage Lever/Dead Bolt Product: or equal in value and quality)* Owner must be given 3 color choices for primary entry/exit door.
  - Primary entry/exit door: (1-half light unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Garage/dwelling entry/exit door: (1 six panel unit) \_\_\_\_\_ \$ \_\_\_\_\_
- Remove existing and install new, vinyl, NOA approved (Impact Resistant) sliding glass door w/ sliding screen component and security lock to manufacturer's specifications. Include all required framing, trim, weather stripping, threshold, hardware and components to ensure proper installation and operational order. *Final door dimensions to be determined by the contracting firm. (Recommended Entry/Exit Door Product: NOA#-PGT Windows and Doors or equal in value and quality)*
  - Living Area Sliding Glass Door (1- Existing unit) \_\_\_\_\_ \$ \_\_\_\_\_
- Remove any existing and install new white vinyl, vertical hanging, and horizontal sliding blinds over the sliding glass door: Installation should be to manufacturer's specifications and include all required components and hardware to ensure complete and operational order. *Exact blind dimensions to be determined by the contracting firm. (Recommended Product: Home Decorators Collection or equal in value and quality)*
  - Sliding Glass Door (Approx 1 Units) \_\_\_\_\_ \$ \_\_\_\_\_

**3. Electrical/HVAC:**

**3a. Smoke/Carbon Monoxide Detectors:**

- Remove (where existing) and install new, hardwired with battery back-up smoke/C02 detectors in the areas listed; installation to include all required circuitry and hardware to meet the most current required applicable fire and electric codes. *(Recommended Product: First Alert or equal in value and quality)*
  - Living Area/Foyer (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Master Bedroom (1 unit) \_\_\_\_\_ \$ \_\_\_\_\_
  - Bedroom #2 and #3 (2 units) \_\_\_\_\_ \$ \_\_\_\_\_
  - Hallway (1 units) \_\_\_\_\_ \$ \_\_\_\_\_

**3b. HVAC:**

- Remove existing and install new minimum 2.5 ton (or as required per energy calcs) 14 SEER split central heating and air conditioning system with electric heat pump (strip sized to accommodate the housing unit's living space). *Rheem Prestige Series or approved equal in value and quality.*

The system is to include service to all habitable rooms (with cleaning all existing ducts), compressor air handler, piping ,Electrical service connects/disconnects, programmable thermostat and all other components necessary for a complete working system; Exterior compressor must be installed on a minimum 3X3 concrete pad and bolted to the pad.

**Note:** Contractor shall provide drawings, energy calculations, and documents as required to perform the scope of work.

- All habitable rooms ( Approx 1 complete unit including ductwork) \_\_\_\_\_ \$ \_\_\_\_\_

**4. General Interior Rehabilitation**

**4a. Interior Painting:**

- Remove any existing nails, tacks, screws, wall paper, etc... that are embedded in the interior walls/ceilings of the home. Repair and seal any damaged/cracking walls as required, "Kilz", prime, and repaint all interior walls of the unit, including all closet walls (bedroom, storage, utility), baseboards, ceilings, molding (where applicable). ; Interior finish should be knockdown textured. Apply one (1) coat of acrylic primer/sealer to the affected areas and paint corner to corner with two (2) coat of acrylic finish paint to match existing using zero-low VOC interior paint.. Homeowner must be given a minimum of three color choices. (Recommended Paint Product type: Eco Protective Products: Eco Accents 5000 flat or product of equal quality and value)
  - Interior walls ( All walls, trim, ceilings, molding, ect)\_\_\_\_\_ \$\_\_\_\_\_

**4b. Flooring:**

- Remove all existing floor covering throughout the unit and replace (including closets/pantries) with new low maintenance, easy clean 12x12 ceramic floor tiles. Installation to be complete and include all required spacers, transition thresholds, and components, to ensure proper installation to manufacturers specifications. *Exact dimensions and square footage to be determined by contracting firm.* (Recommended tile product: American Olean or equal in quality and value) *Owner to determine color.*
  - Interior flooring ( All walls rooms, closet)\_\_\_\_\_ \$\_\_\_\_\_

**5. Bedrooms Misc:**

**5a. Master Bedroom:**

- Remove existing and install new, white, high efficiency 52" ceiling fan with light kit. Installation should be to manufacturer's specifications and include all required circuitry and hardware to ensure complete and operational order. *Exact unit dimensions to be determined by the contracting firm.* (Recommended Product Hampton Bay or equal in value and quality)
  - Master Bedroom (1 Unit)\_\_\_\_\_ \$\_\_\_\_\_

**5b. Bedroom #2:**

- Remove existing and install new, white, high efficiency 52" ceiling fan with light kit in existing overhead portal. Installation should be to manufacturer's specifications and include all required circuitry and hardware to ensure complete and operational order. *Exact unit dimensions to be determined by the contracting firm.* (Recommended Product Hampton Bay or equal in value and quality)
  - Bedroom #2 (1 unit) \_\_\_\_\_ \$\_\_\_\_\_

**5c. Bedroom #3**

- Remove existing and install new, white, high efficiency 52" ceiling fan with light kit in existing overhead portal. Installation should be to manufacturer's specifications and include all required circuitry and hardware to ensure complete and operational order. *Exact unit dimensions to be determined by the contracting firm.* (Recommended Product Hampton Bay or equal in value and quality)
  - Bedroom #3 (1 unit) \_\_\_\_\_ \$\_\_\_\_\_

**-END-**

-----EXISTING DWELLING FOOTPRINT-----



**Total bid amount of Labor and Material cost above \_\_\_\_\_ \$ \_\_\_\_\_**

**\*\*Special Notes\*\***

*If applicable, contractor will attempt to match existing items that are being used or provided by the Homeowner as close as possible. Please note it will be impossible to exact match any items that are of a certain date or discontinued. Any and all products included in this scope of work or used in the rehabilitation of corresponding Housing unit(s) shall be installed to the manufactures specifications and all other applicable codes outlined in the Program rehabilitation Specifications.*

*All products included in this scope of work shall be installed to the manufactures specifications.*

All NOA product numbers can be found at [www.miamidade.gov/buildingcode/pc-search\\_app.asp](http://www.miamidade.gov/buildingcode/pc-search_app.asp)

All products with no NOA # number can be found at [www.homedepot.com](http://www.homedepot.com), [www.lowes.com](http://www.lowes.com), or other retail outlets where such products are sold

*All product brands specified in this scope of work should be used whenever possible, however it is not mandatory to use the specified product brands set forth in this scope of work if the contracting firm can provide reasonable documentation that a product of equal value and quality was responsibly substituted when and/or where necessary.*

HOMEOWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 CO-OWNER SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

My signature above reflects my understanding and acceptance of the total initial labor and material cost of \$\_\_\_\_\_ associated with the aforementioned scope of work. I also understand and accept the possibility that this initial cost can change in unanticipated additional labor or material must be provided by the **CONTRACTOR** for the aforementioned scope of work.

CONTRACTOR Signature: \_\_\_\_\_ DATE: \_\_\_\_\_  
 City Representative Signature: \_\_\_\_\_ DATE: \_\_\_\_\_

**OFFICIAL USE ONLY**

**DATE SUBMITTED:** \_\_\_\_\_ **DATE ACCEPTED:** \_\_\_\_\_ **DATE OPENED:** \_\_\_\_\_

**BID OPENED BY:** \_\_\_\_\_ **WITNESSED BY:** \_\_\_\_\_

**TIME:** \_\_\_\_\_ **WORK WRITE-UP PREPARED BY:** Antonio Jenkins **Date:** 08/13/2013



Vel Burris  
Guardian CRM, Inc.

Subject: Proposal for Foundation Repair at 66 Postview Drive, Palm Coast, FL 32164

Mr. Burris:

We are pleased to present this proposal for performance of the subject services as requested. During our 6/25/13 site visit a visual inspection of the structure's foundation walls, interior walls, and floor slab was performed. I reviewed the report that was completed by AREHNA Engineering dated April 20, 2012. The majority of the damage observed was along the South, East, and West perimeter walls, as well as in the wall that separates the laundry room and kitchen area. It is our understanding that the home was constructed in 2002 and the settlement began approximately 2-3 years ago.

To prevent further settlement and return the structure back to a more level position, a deep embedment system could be installed to support and lift the structure's footings. A deep embedment system could also be installed to lift and stabilize the interior floor slab. Another option to lift and stabilize the interior floor slab would be to inject high-density polyurethane foam below the interior floor slab; in addition this material will consolidate and stabilize the shallow loose soils that were found in borings 1,2,3 of the report provided by AREHNA Engineering.

Alpha Foundation Specialists (AFS) will install 30 Foundation Supportworks model 287 helical pipe piles (2-7/8" diameter pipe with a .203" wall thickness) with a double helix configuration (10",12") to a target depth of 15' (see attached Repair Plan). Each pile will be attached to the structure's footing with a 28 kip retrofit lifting bracket and will be installed to a minimum torque of 3,000 ft-lbs. This will provide a pile with an ultimate capacity of 27 kips. AFS will provide a nationally backed, transferable, lifetime warranty against further settlement in the areas where the piles are installed. We will remove and replace concrete as necessary for installation of the helical piers. If additional depth is required to reach the necessary torque then 7' extensions will be added at an additional \$120.00 per extension until the necessary torque is reached.

**Option 1:** AFS will install 13 Foundation Supportworks model 237 helical pipe piles (2-3/8" diameter pipe with a .154" wall thickness) with a double 8" helix configuration to a target depth of 15' (see attached Repair Plan). Each pile will be attached to the floor slab with a 15 kip slab lifting bracket and will be installed to a minimum torque of 1,500 ft-lbs. This will provide a pile with an ultimate capacity of 15 kips. AFS will provide a nationally backed, transferable, lifetime warranty against further settlement in the areas where the piles are installed. We will remove and replace concrete as necessary for installation of the helical piers. If additional depth is required to reach the necessary torque then 7' extensions will be added at an additional \$95.00 per extension until the necessary torque is reached.

Once pier installation is complete, and the area has been lifted, AFS will pump a two-part, high-density, polyurethane foam under the slab through 5/8" injection locations that will be cored in the top of the floor slab to fill the void created by the lifting process. AFS will remove and replace concrete as necessary to complete the foam injections. We will remove flooring as necessary to perform the operations on the interior of the home, but flooring will need to be replaced by others.

<b>30 Model 287 Piers to 15': 30 @ \$1,015.00 each =</b>	<b>\$30,450.00</b>
<b>13 Model 237 Slab Piers to 15': 13 @ \$850.00 each =</b>	<b>\$11,050.00</b>
<b>Void Fill =</b>	<b>\$ 2,500.00</b>
<b>Permitting &amp; Engineered Design:</b>	<b><u>\$1,500.00</u></b>

**TOTAL ESTIMATE: \$45,500.00**

**Option 2:** Rather than installing helical piers to lift and level the floor slab, The PolyLEVEL two-part high density (2.5lb) polyurethane foam system could be injected under the floor slab to lift and level the slab and attempt to consolidate and stabilize the soil below. A truck-mounted pumping unit capable of injecting high density polyurethane material beneath the slab will be utilized. The pumping unit will be capable of controlling the rate of flow of material as required to lift the slab in a gradual and controlled manner. The pumping unit will be equipped with a certified, calibrated flow meter with a digital output that reads in both pounds and gallons of material used. Equipment capable of monitoring slab movement within 0.1" will be utilized during the installation to ensure slab stabilization and accurate lifting. We estimate approximately 495 lbs of material will need to be injected below the floor slab and back porch areas. AFS will provide a nationally backed 5 year warranty against settlement of greater than 1/2" in the areas where the PolyLEVEL material is injected.

<b>30 Model 287 Piers to 15': 30 @ \$1,015.00 each =</b>	<b>\$30,450.00</b>
<b>PolyLEVEL (2.5lb) Injection: 495 lbs. @ \$9.00/lb. =</b>	<b>\$4,455.00</b>
<b>Permitting &amp; Engineered Design:</b>	<b><u>\$1,500.00</u></b>

<b>TOTAL ESTIMATE:</b>	<b>\$36,405.00</b>
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Please feel free to contact me at (850)877-1313 if you have any questions  
Sincerely,

**Alpha Foundation Specialists, Inc.**



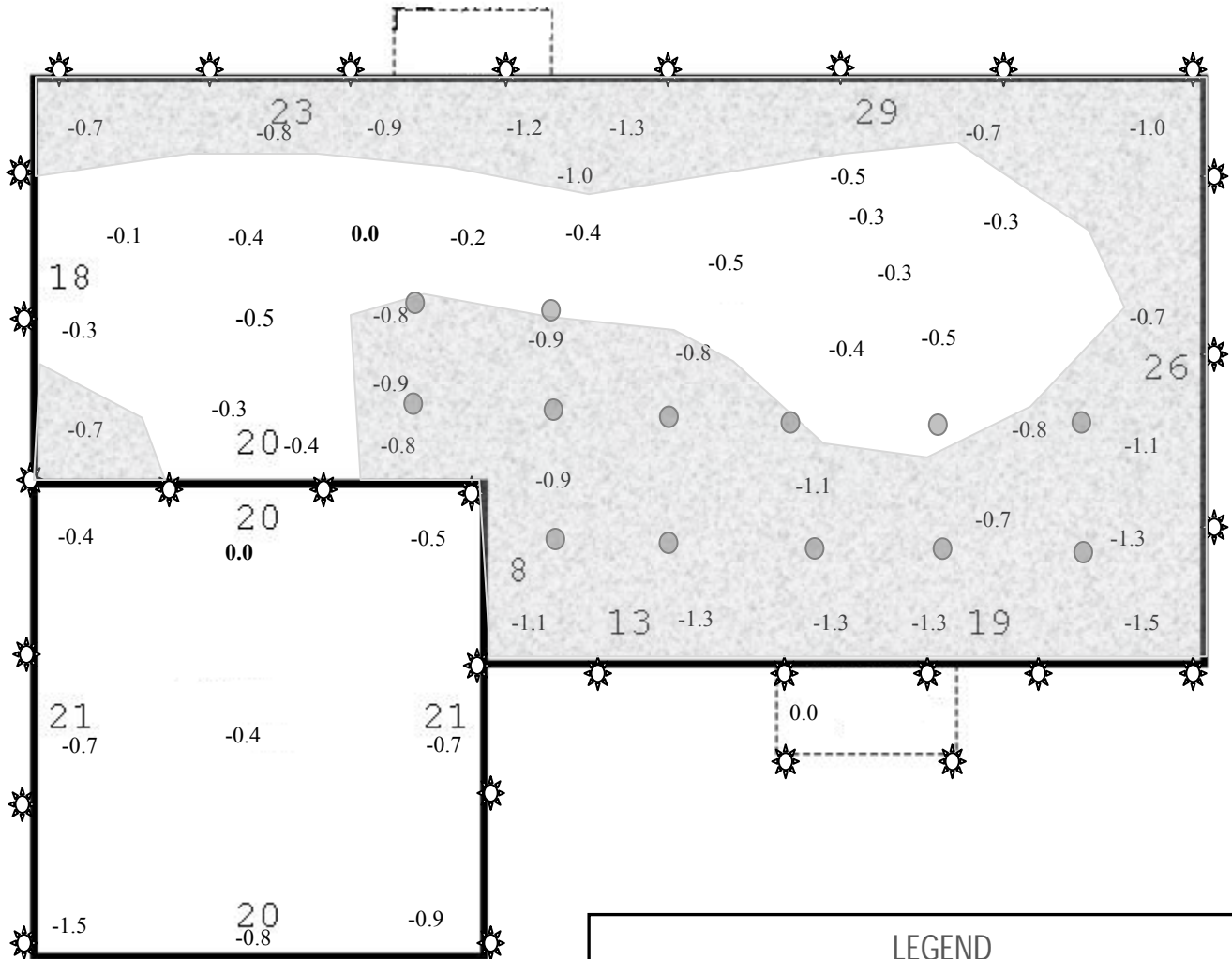
**Mason Frasca**








# Repair Plan

66 Postview Drive  
Palm Coast, FL 32164



**LEGEND**

-  = Helical Pier Location (Approximate)
-  = Model PL250 Series PolyLEVEL Material
- 0.0 = Relative Elevation Point
-  = Slab Pier Location (Approximate)

Alpha Foundation Specialists, Inc.

Mason Frasca

