

**NOTICE TO BIDDERS FOR REHABILITATION
CITY OF PALM COAST
NEIGHBORHOOD STABILIZATION PROGRAM**

PRE-QUALIFICATION

Your firm must complete the pre-qualification package and be approved by the City in order to bid on rehabilitation work under the Neighborhood Stabilization Program. **Please note that if your firm fails to pre-qualify by the time of bid opening, your bid will be considered unresponsive.**

UPDATED INSURANCE REQUIREMENTS

Your firm must ensure that the City has the following information within 72 hours of bid award for any rehabilitation work under the Neighborhood Stabilization Program:

- Proof of Exemption from Worker's Compensation Insurance or a Policy with the following minimum limits:
 - \$500,000 Each Accident
 - \$500,000 Disease Each Employee
 - \$500,000 Disease Aggregate
- Proof of Comprehensive General Liability Insurance with the following minimum limits:
 - \$500,000 Bodily Injury & Property Damage-Each Occurrence
 - \$500,000 Personal & Advertising Injury-Each Occurrence
 - \$1,000,000 General Aggregate
 - \$1,000,000 Products/Completed Operations-Aggregate Limit
- Proof of Automobile Liability Insurance with the following minimum limits:
 - Meet all Minimum Florida Statutory Requirements
 - \$200,000 Bodily Injury and Property Damage-Combined Single Limit
- **The firm must name the City of Palm Coast as an additional insured on all the above policies.**

Please note that if the City does not have this information within three (3) business days following bid award, your bid may be rejected at that time.

LOCAL PREFERENCE NOT APPLICABLE

The federal government awarded this grant and does **not** allow the City to apply and local preference to local firms.

EVALUATION OF BIDS

The lowest responsible and responsive bid will be awarded the rehabilitation contract. Bids from firms who fail to pre-qualify, or provide necessary information in the bid form, or submit a bid after the deadline will be considered unresponsive. City staff will produce a cost estimate and bids that are above or below 15% of this cost estimate **may be** rejected. The City retains the right to reject any bids.

**CITY OF PALM COAST NSP3
HOUSING REHABILITATION PROGRAM
SCOPE OF SERVICES WRITE-UP/BID FORM**

OWNER: To be provided at a later time.

ADDRESS: 63 Round Thorn Drive, Palm Coast, FL 32164

PHONE #: To be provided at a later time.

DUE DATE: December 20, 2013

The work write-up/bid form is a general outline of the work to be performed. Please refer to the project specification booklet product and/or NOA recommendations included in scope of work for detailed instructions for each item noted below. *Take Notice of any attachment pertaining to any Regulated Asbestos Containing Material (RACM) and follow all recommended actions for prevention and/or Disposal. If there are not attachments pertaining to RACM it is reasonable to assume that the RACM was found during testing.*
Home Built in 2004. No Lead Based Paint (LBP) action required.

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	Special attention: Contractor responsible for procuring, and providing reports regarding Lead Base Paint and Asbestos. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$ N/A	
B.	SITWORK	Rehabilitation of unit shall include demolition removal of all construction and replacement debris. All required fill, Re- connects to all existing TV & Phone Jacks. Install 911 addressing as required per local code. Disconnect and re-connect existing system or to community water/sewer systems if available.	All	\$ N/A	

THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG/NSP3 Program Specifications, Florida Building Code, local codes, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

Work must be completed and approved within 21 days of the issuance of the Notice to Proceed.

This unit may or may not require the homeowner to vacate the premises during the construction period. In the case of a demo/replacement unit the program requires that the subject unit will be vacant and shall remain so for the duration of the demolition and reconstruction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of and under direct authorization from the City of Palm Coast NSP3 Administrator and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the NSP3 program. I also agree that change orders above the original contract amount shall only be paid for with NSP3 funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Firm:

Contractor's Name (Print Name):

Contractor's Signature:

Contractor's Address:

Contractor's E-Mail & Phone Number:

EXHIBIT "A"
SCOPE OF WORK
(Work Listed Below)

NOTICE TO BIDDING CONTRACTORS:

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor that will be needed to complete each task thoroughly and to each items primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.
Please fill in every line item in each section of this bid. Thanks for your cooperation!!

Contractor Signature: _____

1. General construction and operational:

1a. Rehabilitation of structure:

- To include all: Plans (Surveying & Engineering where required), Fees and Permitting. _____ \$ _____

1b. Electrical wiring network:

- Inspect and test the housing unit electrical systems and wiring network to ensure that the housing units' circuitry is wired for optimal operation, is free from any immediate fire, health & safety threats and is in compliance with the current NEC. Inspect wiring and circuit breakers for added fluorescent lighting throughout home for Code compliance. Provide a new Electrical Panel Schedule to reflect correct circuit breakers per testing, as required. A licensed electrician must complete inspection and the electrical report must be submitted to City of Palm Coast NSP administrator. *A report showing the findings at the time of inspection will be provided to City of Palm Coast before any payment is made or change order granted.*
 - Electrical and wiring network (existing network). _____ \$ _____

1c. Plumbing network:

Inspect and test the housing unit plumbing lines (taking care to locate the master shut off valve) system(s) **to ensure that they are free of leaks and are in optimal operating order and are able to service the housing unit in the most efficient manner in accordance with the current UPC & Florida Building Code - Plumbing.** Inspection to be performed by a certified licensed and or registered plumbing firm. *A 3rd party report showing the findings at the time of inspection will be provided to the City of Palm Coast before any payment is made or change order granted.*

- Plumbing Network. _____ \$ _____

1d. Mechanical HVAC network:

- Remove existing and install new, sized per code, 13 seer minimum HVAC/Heat pump system, with electric heat package (condensing unit and air handler). Remove and replace thermostat with new digital thermostat; inspect and test all ductwork for leaks, and repair ducts as needed. Clean A/C ducting, grilles, and registers thoroughly using acceptable procedures. Inspect and test coolant lines for leaks and proper insulation. Measure for correct air flow and balance system to provide for a total operational system with service to all habitable rooms. A Building Department permit will be required for this work. (Recommended product: Trane, Carrier or equal in quality and value).

- Mechanical/HVAC Network. _____ \$ _____

2. Exterior rehabilitation:

2a. Pressure wash

- Pressure wash, sidewalks, front, rear and side garage patio/entry slabs, driveway and garage floor, using green procedures. Caulk/Seal all holes and cracks in slabs. Apply a commercial stain remover to remove stains from concrete slabs, including garage floor. (Recommended product: Pour-N-Restore Oil Stain Remover available from Ace Hardware).
 - Pressure wash and seal slabs and other surfaces. _____ \$ _____

2b. Roofing/Attic:

- Inspect roof and repair or replace any damaged or missing shingles and flashing. Inspect roof penetrations and attic for water leaks and correct as necessary. Inspect roofing trusses and attic space. Ensure roof is water-tight. Repair and replace fascia and soffit as required and install or repair vents as needed. Match existing materials and provide roofing material submittals at time of permit, if required. Any new shingles required are to match existing in color, size and material. If 1 square or more of shingles are removed/replaced/repared, a Building Department permit will be required. All roofing work to be performed by a licensed roofer registered or certified to perform this work. Roofer to provide a report certifying that the roof envelope is sealed and free from leaks and water penetration. Roofer shall warranty his work for two (2) years.
 - Inspect roof, shingles, and attic. Make additional repairs as needed. Provide certification and warranty. _____ \$ _____

2c. Windows and doors:

- Inspect and lubricate all windows. Repair and replace hardware for any inoperable windows as required. Clean Great room and Family Room sliding door tracks and adjust sliding screen doors. Replace Front and Garage/Utility door weather-stripping around door. Replace Threshold at front entrance doorway.
 - Inspect/lubricate all windows. Repair inoperable windows and replace hardware as necessary. (Approx. 13 Units). _____ \$ _____
 - Clean and adjust sliding screen doors (2 Units) _____ \$ _____
 - Replace Front & Rear door weather stripping (2 Units) _____ \$ _____
 - Replace Front door threshold. _____ \$ _____

2d. Exterior house:

- On exterior house finish, clean stains from exterior walls using green procedures. Seal stucco openings around hose bibbs on right side and rear of house, and touch-up paint treated areas to match existing color as necessary. (Recommended Paint Product: Sherwin Williams or equal in value and quality. 5 year warranty required)
 - Clean stains from exterior walls. _____ \$ _____
 - Seal stucco around hose bibbs and touch-up paint (2 Units) _____ \$ _____

3. Electrical:

3a. Smoke detectors:

- Replace all smoke detector batteries with new.

- Replace all smoke detector batteries (5 units). _____ \$ _____

3b. Light fixtures:

- Replace all non-working indoor lighting fixture lamps with new to match existing. Replace 4 ft. Kitchen fluorescent fixture with an Energy Savings LED 4-light minimum decorative track fixture. F&I missing trim kit for existing Kitchen recessed incandescent fixture. Replace laundry room ceiling light with surface mounted Energy Saving LED low profile round cloud/puff fixture. Owner to select all fixtures within allowances listed below. Allowances include all sales tax. Contractor will be required to provide copies of receipts for Allowance fixtures/ceiling fans. (Recommended Product: Hunter or Hampton Bay or equal in value and quality with standard manufacturer's warranty.).
 - Replace non-functioning fixture lamps with new to match. _____ \$ _____
 - Allowance for Kitchen LED track fixture _____ \$ _____ 200
 - Installation only for Kitchen LED track fixture _____ \$ _____
 - Replace missing kitchen recessed incandescent trim _____ \$ _____
 - Allowance for laundry room LED ceiling light fixture _____ \$ _____ 70
 - Installation only for laundry room LED ceiling light fixture _____ \$ _____

3c. Receptacles:

- Replace electrical dryer receptacle in laundry room and test circuit.
 - Replace dryer receptacle and test circuit _____ \$ _____

3d. Electrical miscellaneous:

- Reroute alarm system data cable in master closet through wall cavity.
- Reroute data cable into wall cavity. _____ \$ _____

4. General interior rehabilitation

4a. Kitchen refrigerator:

- F&I refrigerator with a new minimum 21 cuft Energy Star rated Frost free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. Black or white color to be selected by Owner. (Recommended Product Whirlpool, or equal in value and quality).
 - F&I Refrigerator (1 unit). _____ \$ _____

4b. Kitchen dishwasher:

- Remove and replace existing dishwasher with a new Energy Star rated unit with the following minimums:
 - CEE Tier 2.
 - Minimum energy factor of .68 or greater.
 - Maximum annual energy use of 325 kilowatt hours or less.
 - Install to manufacturers specification. Exact dishwashing unit dimensions to be determined by contracting firm. Black or white color to be selected by Owner. (Recommended Product Whirlpool or equal in value and quality).
- Replace Dishwasher (1 unit). _____ \$ _____

4c. Kitchen range:

- Remove and replace existing range with a new minimum 30" four (4) burner free standing electric cook top range with self-cleaning oven. F&I all required hardware and components for complete installation. Exact range dimensions to be determined by contracting firm. Black or white color to be selected by Owner. (Recommended Product Whirlpool, or equal in value and quality).
- Replace Kitchen Range (1 unit). _____ \$ _____

4d. Kitchen microwave/range hood:

- Remove existing range hood and replace with Energy Star-rated combination microwave/ducted range hood. Installation is to include all required components. Unit is to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. Black or white color to be selected by Owner. (Recommended Product Whirlpool, or equal in value and quality).
- Remove hood and F&I Microwave/Range hood (1 unit). _____ \$ _____

5. Bathrooms:

5a. All bathrooms:

- Remove and replace toilet seats with new similar to existing in style, color and size. Recommended product: American Standard or equal in quality and value).
- Replace Toilet Seats (2 Units). _____ \$ _____

6. Miscellaneous:

6a. Miscellaneous:

- Replace broken/missing doorstops (2). Inspect for damage and treat whole house for ant infestation and Wood Destroying Organisms (WDO) with special attention to Pantry, ant colony against rear outside wall of house, wet areas of the home, around the installed water heater, and at the garage personnel exterior entry door. Inspection to be performed and home treated by registered pesticide company, and certification provided that the home is free from active WDO. G.C. to repair/replace with new any wood damage as necessary with trim or board to match existing.
- Replace broken/missing doorstops (2 Units). _____ \$ _____
- Inspect and treat for Pest infestation. Repair/replace damaged wood as needed. _____ \$ _____

6b. Plumbing:

- Patch and repair the hole in the master bath tub and shower wall unit. Repair to be made so tub looks like new. Color and finish of repair to match existing. Replace damaged sink faucet in Master Bath with faucet similar is style to match openings in existing sink. Remove and replace oval sink and faucet in bathroom #2. Exact sink dimensions to be determined by contracting firm. Ivory or white color of sink to be selected by Owner. Replace shower mixing valve and trim kit in bathroom #2. (Recommended product: Delta or equal in quality and value).
- Repair master tub/shower unit _____ \$ _____
- Replace sink faucet in Master Bath _____ \$ _____
- Remove and replace sink and faucet in Bath #2 _____ \$ _____

- Replace Shower mixing valve and trim kit Bath 2 _____ \$ _____

6c. Bedroom floor coverings:

- Remove existing carpet/pad in all three (3) bedrooms and F&I new wall to wall carpet in three (3) bedrooms to include padding. Carpet to be 20oz. nylon or polyester with minimum 7 year wear and stain resistant warranty. Carpet padding to be minimum 6lb. Carpet to be same color for all rooms. **(Recommended Carpeting product: Stain master or equal in value and quality.)** Installation of all carpet to be complete and include all required components, to ensure installation is to manufacturers' specifications. Include all transitions where floor coverings change from one room to another. (Owner to select carpeting and color from Contractor options). Exact dimensions and square footage of all floor coverings are to be determined by contracting firm.

- Remove and replace carpeting in bedrooms (3 units). _____ \$ _____

6d. Common spaces floor coverings:

- Remove existing carpet and tile in all common spaces to include great room, dining room, hallways, kitchen, foyer, pantry, nook, family room, utility and all bathrooms. F&I new unglazed minimum 12" square porcelain tile in these common spaces. House slab shall be prepared for subflooring using self-leveling compound per manufacturer's recommendations. All slab cracks shall be filled prior to use of self-leveling compound. Tile shall have a minimum 1 year manufacturer product warranty. **(Recommended Tile Product: Daltile Porcelain Tile or equal in value and quality.)** Installation of all tiles to be complete and include all required components, to ensure installation is to manufacturers' specifications. Include all transitions where floor coverings change from one room to another. (Owner to select tile and grout color from Contractor options). Exact dimensions and square footage of all tiled spaces are to be determined by contracting firm.

- Remove carpet and tile and replace with tile in common spaces. _____ \$ _____

6e. General cleaning:

- Provide final cleaning and sanitizing of whole house at end of project.

- Final Cleaning. _____ \$ _____

Total bid amount of Labor and Material cost above _____

In words: \$ _____

Please note that the sum of the line items will be checked for accuracy. In the event there is a discrepancy between the written total and the actual total, the actual total shall be used.

Add Alternates: DO NOT INCLUDE ADD ALTERNATE(S) IN YOUR TOTAL BID AMOUNT.

Add Alternate #1: Laundry: Install new washer and dryer Energy star rated units with the following minimums:

- 1a. Washer
 - CEE Tier 2 or Higher.
 - Minimum Energy Factor of 2.0 or greater.
 - Water Factor 6.0 or less.
 - Install to include all required components, and electrical system upgrades and/or electrical portal installation (where required). Unit to be installed to manufacturer specifications. **(Recommended Product type G.E. or equal in value and quality).**

- Washer. _____ \$ _____
- 1b. Dryer
 - Minimum 7.0 cubic feet capacity – shortens drying time due to maximizing air flow.
 - Sensor Dry System-measures moisture in drum, and then automatically adjusts drying time and temperature.
 - 5 Temperature levels – High, Medium High, Medium, Low & Ultra Low.
 - Install to include all required components, and electrical system upgrades and/or electrical portal installation (where required). Unit to be installed to manufacturer specifications. (Recommended Product type G.E. or equal in value and quality).
- Electric dryer. _____ \$ _____

Add Alternate #2: Water heater: Remove existing electric water heater and replace with new Energy Star certified high efficiency water heater with the following minimums:

- 50 gallon, 240V, with Energy Factor greater than or equal to 2.0.
- 6 year warranty on sealed system
- Meet UL 174 and UL 1995
- Include factory installed temperature and pressure relief valves.
- Include all required components for full working system per current Code and install per manufacturer's specifications. (Recommended Product: A. O. Smith or equal in quality).
- Remove and replace electric water heater. _____ \$ _____

Add Alternate #3: Attic Stairs: Install drop-down attic access stairs in existing attic access over garage with the following minimums:

- OSHA and 2010 Florida building code compliant.
- Type 1AA ladder rating with a 375 lbs. maximum load capacity.
- Garage side of attic access pull-down panel shall be painted using white fire retardant paint that meets Chapter 7 of the 2010 Florida Building Code (FBC) minimum standards for fire resistance rating of one (1) hour.
- Install to include all required components, manufacturer specifications and 2010 Florida Building Code.
- Exact dimensions of existing attic access area and space needed to install ladder to be determined by contracting firm.
- Install Attic access ladder. _____ \$ _____

Add Alternate #4: Privacy fence: Install 6'H pressure-treated wood privacy fence around perimeter of rear and side property lines, with starting and ending point of fence abutting each side of the house. Fence shall not enclose electric meter or PEP tank, but shall abut to house as close to house front as possible. Exact required linear footage of fence needed for installation to be determined by contracting firm. Fence shall comply with the following minimums:

- Finish fence height shall be no greater than 6 feet per COPC Land Development Code.
- Fence to be installed with finish side toward outside, posts to inside.
- 4"x4"x 8'L Pressure treated wood posts to be spaced no further than 8' apart, with minimum 2' buried in ground. Use (1) 40 lb bag Sakrete concrete mix for each fence post and install concrete per manufacturer installation instructions.
- Fastening hardware to be either 16p hot dip galvanized common nails or #10 3"L minimum stainless steel screws
- Posts are not to be trimmed at the top, but are to be level both vertically and horizontally.
- Minimum 4' wide Walk-in swing gate with lockable door latch hardware. Hardware for gate shall be hot dip galvanized or stainless steel and gate shall be located on the widest side facing front of house.
- All work shall be warrantied for 2 years from date of installation.
- Shall comply with City Land Development Code and Florida Building Code.
- A Building Department permit will be required for this work.
- Install privacy fence. _____ \$ _____

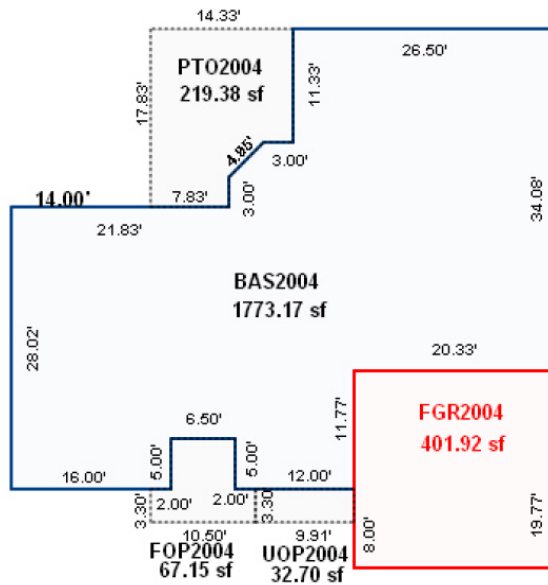
Add Alternate #5: Bedroom floor coverings: IN LIEU OF ITEM #6C WHICH WILL NOT BE INCLUDED IN THE CONTRACT PRICE, ADD THE FOLLOWING:

➤ Remove existing carpet/pad in all three (3) bedrooms and F&I new unglazed minimum 12" square porcelain tile in these common spaces. House slab shall be prepared for subflooring using self-leveling compound per manufacturer's recommendations. All slab cracks shall be filled prior to use of self-leveling compound. Tile shall have a minimum 1 year manufacturer product warranty. (Recommended Tile Product: **Daltile Porcelain Tile or equal in value and quality**). Installation of all tiles to be complete and include all required components, to ensure installation is to manufacturers' specifications. Include all transitions where floor coverings change from one room to another. (Owner to select tile and grout color from Contractor options). Exact dimensions and square footage of all tiled spaces are to be determined by contracting firm.

- Remove carpeting and F&I porcelain tile in all bedrooms. _____ \$ _____



EXISTING DWELLING FOOTPRINT -----



(Minus) Contractors discount _____ \$
 Adjusted value of this agreement _____ \$

****Special Notes****

If applicable, contractor will attempt to match existing items that are being used or provided by the Homeowner as close as possible. Please note it will be impossible to exact match any items that are of a certain date or discontinued. Any and all products included in this scope of work or used in the rehabilitation of corresponding Housing unit(s) shall be installed to the manufactures specifications and all other applicable codes outlined in the Program Rehabilitation Specifications.

All products included in this scope of work shall be installed to the manufactures specifications.

All NOA product numbers can be found at www.miamidade.gov/buildingcode/pc-search_app.asp

All products with no NOA # number can be found at www.homedepot.com, www.lowes.com, or other retail outlets where such products are sold

All product brands specified in this scope of work should be used whenever possible; however it is not mandatory to use the specified product brands set forth in this scope of work if the contracting firm can provide reasonable documentation that a product of equal value and quality was responsibly substituted when and/or where necessary.

HOMEOWNER SIGNATURE: _____	DATE: _____
CO-OWNER SIGNATURE: _____	DATE: _____

My signature above reflects my understanding and acceptance of the total initial labor and material cost of \$_____ associated with the aforementioned scope of work. I also understand and accept the possibility that this initial cost can change in unanticipated additional labor or material must be provided by the **CONTRACTOR** for the aforementioned scope of work.

CONTRACTOR Signature: _____	DATE: _____
County Representative Signature: _____	DATE: _____

OFFICIAL USE ONLY

DATE SUBMITTED: _____ DATE ACCEPTED: _____ DATE OPENED: _____

BID OPENED BY: _____ WITNESSED BY: _____

TIME: _____ WORK WRITE-UP PREPARED BY: _____ Date: _____