

**CITY OF PALM COAST NSP3
HOUSING REHABILITATION PROGRAM
SCOPE OF SERVICES WRITE-UP/BID FORM**

REVISED DECEMBER 18, 2013

OWNER: To be provided at a later time.

ADDRESS: 5 Renworth Place, Palm Coast, FL 32164

PHONE #: To be provided at a later time.

DUE DATE: December 20, 2013

The work write-up/bid form is a general outline of the work to be performed. Please refer to the project specification booklet product and/or NOA recommendations included in scope of work for detailed instructions for each item noted below. *Take Notice of any attachment pertaining to any Regulated Asbestos Containing Material (RACM) and follow all recommended actions for prevention and/or Disposal. If there are not attachments pertaining to RACM it is reasonable to assume that the RACM was found during testing.*
Home Built in 2006. No Lead Based Paint (LBP) action required.

Note	System	Description of Work	Location	Price	Contractor Initials
A.	REHABILITATION	Special attention: Contractor responsible for procuring, and providing reports regarding Lead Base Paint and Asbestos. Any recommendations included in the reports regarding such material shall become part of the Work.	Unit	\$ N/A	
B.	SITWORK	Rehabilitation of unit shall include demolition removal of all construction and replacement debris. All required fill, Re- connects to all existing TV & Phone Jacks. Install 911 addressing as required per local code. Disconnect and re-connect existing system or to community water/sewer systems if available.	All	\$ N/A	

THIS PAGE MUST BE INCLUDED WITH THE BID FOR IT TO BE VALID

All work to be performed in a workmanlike manner, in accordance with the CDBG/NSP3 Program Specifications, Florida Building Code, local codes, and manufacturer's specifications. The contractor shall be responsible for the repairs and/or reinstallation of materials/equipment/fixtures damaged or removed due to any work item contained herein. Contractors shall properly dispose of all fixtures, materials and other items removed from the dwelling unless otherwise specified herein. Bid will be accepted on the **TOTAL BID** submitted, and all items must be cost itemized in the space provided or the bid will be rejected.

Work must be completed and approved within 21 days of the issuance of the Notice to Proceed.

This unit may or may not require the homeowner to vacate the premises during the construction period. In the case of a demo/replacement unit the program requires that the subject unit will be vacant and shall remain so for the duration of the demolition and reconstruction process.

This document may not be altered in any manner. The scope of work set forth in this document may not be changed without the written consent of and under direct authorization from the City of Palm Coast NSP3 Administrator and/or its official representatives.

I hereby certify that I am licensed by the State of Florida, Department of Business and Professional Regulation, and that I am eligible to participate in the NSP3 program. I also agree that change orders above the original contract amount shall only be paid for with NSP3 funds to correct documented code violations or to meet Section 8 Housing Quality Standards. Change orders must be approved by the homeowner or his/her representative, the contractor, and local government prior to any initiation of work based on that change order.

Firm:

Contractor's Name (Print Name):

Contractor's Signature:

Contractor's Address:

Contractor's E-Mail & Phone Number:

EXHIBIT "A"
SCOPE OF WORK
(Work Listed Below)

NOTICE TO BIDDING CONTRACTORS:

The bidding contractor must consider the following when estimating the value of each line item: measurements, sizes, materials, labor, permits, plans, all fees, surveys, engineering/Architecture, regulations, demolition and clean-up.

All material, components, and labor that will be needed to complete each task thoroughly and to each items primary operational function.

ALL work must be in compliance with all applicable Federal, State, and Local Codes.
Please fill in every line item in each section of this bid. Thanks for your cooperation!!

Contractor Signature: _____

1. General construction and operational:

1a. Rehabilitation of structure:

- To include all: Plans (Surveying & Engineering where required), Fees and Permitting. _____ \$ _____

1b. Electrical wiring network:

- Inspect and test the housing unit electrical systems and wiring network to ensure that the housing units' circuitry is wired for optimal operation, is free from any immediate fire, health & safety threats and is in compliance with the current NEC. Inspect wiring and circuit breakers for added fluorescent lighting throughout home for Code compliance. Provide a new Electrical Panel Schedule to reflect correct circuit breakers per testing, as required. A licensed electrician must complete inspection and the electrical report must be submitted to City of Palm Coast NSP administrator. *A report showing the findings at the time of inspection will be provided to City of Palm Coast before any payment is made or change order granted.*
 - Electrical and wiring network (existing network). _____ \$ _____

1c. Plumbing network:

- Inspect and test the housing unit plumbing lines (taking care to locate the master shut off valve) system(s) **to ensure that they are free of leaks and are in optimal operating order and are able to service the housing unit in the most efficient manner in accordance with the current UPC & Florida Building Code - Plumbing.** Inspection to be performed by a certified licensed and or registered plumbing firm. *A 3rd party report showing the findings at the time of inspection will be provided to the City of Palm Coast before any payment is made or change order granted.*
 - Plumbing Network. _____ \$ _____

1d. Mechanical HVAC network:

- Inspect and test the HVAC system in the housing Unit to ensure system is functioning properly, free of leaks and is in optimal operating order; and that system is able to be serviced in the most efficient manner in accordance with the current Florida Building Codes. Replace filters. Check and clean condenser coil, replace refrigerant and test line, check and monitor refrigerant pressure, inspect ducts for leaks, in place clean and adjustment of blower components, measure for correct air flow and balance system, and clean condensate drain, oil the fan motors, check pressures of the operating system, and check thermostat calibration. Inspection to be performed by a certified licensed and or registered mechanical contracting firm. *A 3rd party report showing the findings at the time of inspection will be provided to the City of Palm Coast before any payment is made or change order granted.* Reseat A/C return grills in bedroom #2 and family room to be flush with ceiling along all edges.

- o Mechanical/HVAC Network. _____ \$ _____
- o Reseat A/C grills (2 Units). _____ \$ _____

2. Exterior rehabilitation:

2a. Pressure wash

- Pressure wash front sidewalk, driveway and garage floor using green procedures. Caulk/Seal all holes and cracks in slabs. Apply a commercial stain remover to remove stains from concrete slabs, including garage floor. (Recommended product: Pour-N-Restore Oil Stain Remover available from Ace Hardware).
 - o Pressure wash and seal slabs and other surfaces. _____ \$ _____

2b. Roofing/Attic:

- Inspect roof and repair or replace any damaged or missing shingles and flashing. Inspect roof penetrations and attic for water leaks and correct as necessary. Inspect roofing trusses and attic space. Ensure roof is water-tight. Repair and replace fascia and soffit as required and install or repair vents as needed. Remove and replace flashing and tarred shingles in rear roof valley and remove and replace lower 4 rows of shingles on rear roof surrounding tiled patio. Match existing materials and provide roofing material submittals at time of permit, if required. Any new shingles required are to match existing in color, size and material. If 1 square or more of shingles are removed/replaced/repared, a Building Department permit will be required. All roofing work to be performed by a licensed roofer registered or certified to perform this work. Roofer to provide a report certifying that the roof envelope is sealed and free from leaks and water penetration. Roofer shall warranty his work for two (2) years.
 - o Inspect roof, shingles, and attic. Make additional repairs as needed. Provide certification and warranty. _____ \$ _____
 - o Remove/replace tarred & damaged shingles and associated flashing. _____ \$ _____

2c. Windows and doors:

- Inspect and lubricate all windows. Replace damaged Master Bedroom door knob with new similar in design and appearance. Repair and replace hardware for any inoperable windows as required. Replace window hardware and plastic window trim pieces in all three (3) Master bedroom windows. Replace plastic window trim pieces in one (1) family room window. Replace missing screens in three (3) windows in kitchen, master bedroom, and master bath. Replace sliding screen door in family room. Replace hinges on walk-in garage access door and rehang door to close properly. Replace weather-stripping around front door frame and at bottom of door
 - o Inspect/lubricate all windows. Repair inoperable windows and replace hardware as necessary. (Approx. 16 Units). _____ \$ _____
 - o Replace Master Bedroom door knob _____ \$ _____
 - o Repair/replace Master bedroom window mechanisms and trim pieces (3 Units) _____ \$ _____
 - o Replace plastic trim in family room window (1 Unit) _____ \$ _____
 - o Replace missing screens (3 units). _____ \$ _____
 - o Replace sliding screen door (1 units). _____ \$ _____
 - o Replace garage door hinges and rehang door (1 unit). _____ \$ _____
 - o Replace front door weather-stripping (1 unit). _____ \$ _____

2d. Exterior house:

- On exterior house finish, clean stains from exterior walls using green procedures. Seal all stucco cracks, and touch-up the treated areas with additional stucco (if needed) and paint to match existing color as necessary. **(Recommended Paint Product: Sherwin Williams or equal in value and quality. 5 year warranty required.** Repair and seal crack in concrete driveway slab. F&I new mailbox and remove and re-set existing mailbox post in concrete below grade utilizing minimum (1) 40lb bag of concrete. Remove and replace damaged screen enclosure including both front and side frames and door at front entry. Replace both front and side screen frame with new similar to existing. Replace screen door at front patio entry way with conventional screen door without bars. Work shall be in accordance with 2010 Florida Building Codes and materials shall meet Florida material specifications requirements and City of Palm Coast Land Development Code. A Building Department permit will be required for this work.

○ Clean stains from exterior walls.	_____	\$ _____
○ Seal stucco around outside of house and touch-up paint	_____	\$ _____
○ Repair and seal driveway slab crack	_____	\$ _____
○ F&I new mailbox and reset post	_____	\$ _____
○ Remove and replace screen enclosure/screen door at front entry	_____	\$ _____

2e. Landscaping:

- F&I (2) 30 gallon 2" caliper canopy/shade trees, and (2) 6-7' 30 gallon 1-1/2" caliper understory trees. A minimum of one canopy shade tree must be planted in the front yard away from the driveway and sidewalk to comply with the City of Palm Coast Land Development Code, Chapter 11. The remaining 1 canopy/shade trees should be placed in the backyard. The understory trees may be spaced around the remainder of the yard. Replace existing shrub in front of outside A/C unit with a shrub that meets city standards. A full list of tree types and installation requirements can be found in the City of Palm Coast Land Development Code, Technical Manual Section 3 Landscaping located on the City website. Remove raised dirt pile from against rear wall of home.

○ F&I (2) shade trees and (2) under-story trees.	_____	\$ _____
○ F&I (1) shrub in front of outside A/C unit.	_____	\$ _____
○ Remove raised dirt pile from against rear wall of home	_____	\$ _____

3. Electrical:

3a. Smoke detectors:

- Replace all smoke detector batteries with new.

○ Replace all smoke detector batteries (5 units).	_____	\$ _____
---	-------	----------

3b. Light fixtures:

- Replace all non-working indoor lighting fixture lamps with new to match existing. Repair existing kitchen fluorescent ceiling cloud fixture and/or associated switch which will not turn fixture on. Remove and replace existing light fixture at back porch with minimum 10" LED weatherproof wall sconce. F&I ceiling-mounted island pendant light with minimum 2 fixture heads in kitchen over island at pre-wire outlet. F&I combination ceiling fan with light/s in master bedroom and bedrooms #2 and #3. Ceiling fans with lights to be 48"-52" 5-blade, with shade or globe fixture(s). Furnish extension rods as required for standard height installation. Owner to select all fixtures/fans within allowances listed below. Allowances include all sales tax. Contractor will be required to provide copies of receipts for Allowance fixtures/ceiling fans. **Total Fixture/ceiling fan purchase shall not exceed total of**

allowances given below. (Recommended Product: Hunter or Hampton Bay or equal in value and quality with standard manufacturer's warranty.)

- Replace non-functioning fixture lamps with new to match. _____ \$ _____
- Repair kitchen cloud fixture _____ \$ _____
- Allowance for back porch light fixture (1 Unit). _____ \$ 100
- Installation only back porch light fixture (1 Unit). _____ \$ _____
- Allowance for kitchen ceiling pendant fixture (1 Unit). _____ \$ 200
- Installation only kitchen ceiling pendant fixture (1 Unit). _____ \$ _____
- Allowance for combo ceiling fan/light in bedrooms (3 Units @ \$100 each). _____ \$ 300
- Installation only comb. ceiling fan/light in bedrooms (3 Units) _____ \$ _____

3c. Electrical Miscellaneous:

- Rewire receptacle left of stove to be downstream of GFCI breaker. Test all kitchen electrical outlets for proper ground fault interruption. A building department permit will be required for this work. F&I a receptacle plate for ceiling mounted receptacle in garage.
 - Rewire kitchen receptacle for proper GFCI protection. _____ \$ _____
 - F&I Receptacle plate in garage _____ \$ _____

4. General interior rehabilitation

4a. Kitchen refrigerator:

- F&I refrigerator with a new minimum 21 cuft Energy Star rated Frost free Top Freezer/Refrigerator with internal icemaker and all required hardware and components for complete installation. Exact refrigerator dimensions to be determined by contracting firm. Black or white color to be selected by Owner. **(Recommended Product Whirlpool, or equal in value and quality).**
 - F&I Refrigerator _____ \$ _____

4b. Kitchen microwave/range hood:

- Remove existing range hood and replace with Energy Star-rated combination microwave/ductless range hood. Installation is to include all required components. Unit is to be installed to manufacturer's specifications. Exact dimensions are to be determined by the contracting firm. Black or white color to be selected by Owner. **(Recommended Product Whirlpool, or equal in value and quality).** Install electrical cut-in box at existing wall opening in back of cabinet above hood and place exposed terminated wires into box. Seal all box openings with duct seal to prevent pest intrusion and add blank cover plate (color of plate to match existing devices).
 - Remove hood and F&I comb. Microwave/Range hood _____ \$ _____
 - Install electrical box at exposed wiring above hood. _____ \$ _____

4c. Kitchen garbage disposal:

- F&I garbage disposal under kitchen sink. Disposal area is pre-wired with switch and disposal outlet. Disposal to be minimum 1/2HP 120V UL listed with 2 year parts and service warranty. **(Recommended Product Insinkerator, or equal in value and quality).**

- o F&I garbage disposal _____ \$ _____

5. Bathrooms:

5a. All bathrooms:

- Remove and replace toilet seats with new similar to existing in style, color and size. **Recommended product: American Standard or equal in quality and value).**

- o Replace Toilet Seats (2 Units). _____ \$ _____

5b. Master Bath:

- Remove residue from inside bottom of sink cabinet and repair as necessary. Re-grout shower and reseal tub.

- o Remove residue and repair cabinet bottom _____ \$ _____

- o Re-grout shower and reseal tub _____ \$ _____

5c. Bathroom #2:

- Re-caulk tub along tile line.

- o Re-caulk tub _____ \$ _____

6. Miscellaneous:

6a. Miscellaneous:

- Replace broken/missing doorstops (4). Replace missing wire shelf unit in hall closet and patch/paint existing drywall holes to match existing. Replace laminate bottom plate under kitchen sink. Reseal kitchen countertop splash behind sink. Caulk color to match. In Laundry F&I plastic trim ring for washer hookups (if trim ring can no longer be furnished, install minimum 1-1/2" white molding as frame around opening.) **Patch, texture and touch-up paint to match at 5' long hairline ceiling crack located across hallway between the Foyer and the Kitchen.**

- o Replace broken/missing doorstops (4 Units). _____ \$ _____

- o Replace closet wire shelf and repair drywall _____ \$ _____

- o Replace laminate bottom under kitchen sink _____ \$ _____

- o Reseal kitchen countertop splash behind sink _____ \$ _____

- o F&I Washer hookup wall trim ring _____ \$ _____

- o **Patch/texture/touchup paint ceiling in Hallway** _____ **\$** _____

6b. Plumbing:

- Replace master bathroom shower head with new similar to existing in style, color and size. Replace bathroom #2 tub drain with drain/stopper to match existing. Replace Bath #2 toilet tank parts. Replace bath #2 tub mix-it valve. Remove and replace damaged kitchen faucet with new single handle faucet. Owner to select faucet within allowance listed below. Allowances include all sales tax. Contractor will be required to provide copies of receipts for Allowance fixtures. **(Recommended Product Kohler, Moen, or equal in value and quality).** Replace outside main water shutoff valve with similar to existing and position valve above grade to be free of sod and dirt. Remove existing electric water heater and replace with new Energy Star certified high efficiency water heater with the following minimums: 50 gallon, 240V, with Energy Factor greater than or equal to 2.0. 6 year warranty on sealed system. Meet UL 174 and UL 1995, Include factory installed temperature and pressure relief valves. Include all required components for full working system per current Code and install per manufacturer's specifications.

(Recommended Product: A. O. Smith or equal in quality). Provide support bracket for water expansion tank.

○ Replace master tub shower head _____	\$ _____
○ Replace bathroom #2 tub drain with drain/stopper _____	\$ _____
○ Replace bathroom #2 mix-it valve _____	\$ _____
○ Allowance for new kitchen faucet _____	\$ _____ 125
○ Labor only to remove existing kitchen faucet and replace with new _____	\$ _____
○ Replace outside main water shutoff valve _____	\$ _____
○ Replace water heater _____	\$ _____
○ Install expansion tank support bracket _____	\$ _____

6c. Floor coverings:

➤ Remove existing carpet/pad throughout house and wood laminate flooring in family room and F&I new wall to wall carpet in three (3) bedrooms, hallways, dining room, living room, and family room, to include padding. Carpet to be 20oz. nylon or polyester with minimum 7 year wear and stain resistant warranty. Carpet padding to be minimum 6lb. Carpet to be same color for all rooms. (Recommended Carpeting product: Stain master or equal in value and quality.) Remove existing linoleum in foyer, kitchen, nook, pantry, laundry and both bathrooms. F&I new unglazed minimum 12" square porcelain tile in these common spaces. House slab shall be prepared for subflooring using self-leveling compound per manufacturer's recommendations where slab is uneven. All slab cracks shall be filled prior to use of self-leveling compound. Tile shall have a minimum 1 year manufacturer product warranty. (Recommended Tile Product: Daltile Porcelain Tile or equal in value and quality). Installation of all carpet to be complete and include all required components, to ensure installation is to manufacturers' specifications. Include all transitions where floor coverings change from one room to another. (Owner to select carpeting and tile color from Contractor options). Exact dimensions and square footage of all floor coverings are to be determined by contracting firm. On outdoor rear tiled patio, remove all tile, grout and thinset from concrete surface. Grind concrete where required to achieve original slope and finish. Prepare surface per manufacturer's instruction. Apply Exterior Anti-Slip Concrete Waterproofing Paint to concrete slab per manufacturer's directions. Owner to select color per Contractor's options. (Recommended Product: Sherwin Williams Sher-Crete Flexible Concrete Waterproofing-Textured or equal in value and quality)

○ Remove carpeting and wood laminate and replace with carpet. _____	\$ _____
○ Remove linoleum and replace with tile. _____	\$ _____
○ On rear patio remove existing tile and apply anti-skid paint _____	\$ _____

6e. General cleaning:

- Provide final cleaning and sanitizing of whole house at end of project.
- Final Cleaning. _____ \$ _____

Total bid amount of Labor and Material cost above _____

In words: \$ _____

Please note that the sum of the line items will be checked for accuracy. In the event there is a discrepancy between the written total and the actual total, the actual total shall be used.

Add Alternate #1: Laundry: Install new washer and dryer Energy star rated units with the following minimums:

- 1a. Washer
 - CEE Tier 2 or Higher.
 - Minimum Energy Factor of 2.0 or greater.
 - Water Factor 6.0 or less.
 - Install to include all required components, and electrical system upgrades and/or electrical portal installation (where required). Unit to be installed to manufacturer specifications. **(Recommended Product type G.E. or equal in value and quality).**

- Washer. _____ \$ _____

- 1b. Dryer
 - Minimum 7.0 cubic feet capacity – shortens drying time due to maximizing air flow.
 - Sensor Dry System-measures moisture in drum, and then automatically adjusts drying time and temperature.
 - 5 Temperature levels – High, Medium High, Medium, Low & Ultra Low.
 - Install to include all required components, and electrical system upgrades and/or electrical portal installation (where required). Unit to be installed to manufacturer specifications. **(Recommended Product type G.E. or equal in value and quality).**

- Electric dryer. _____ \$ _____

Add Alternate #2: Attic Stairs: Install drop-down attic access stairs in existing attic access over garage with the following minimums:

- OSHA and 2010 Florida building code compliant.
- Type 1AA ladder rating with a 375 lbs. maximum load capacity.
- Garage side of attic access pull-down panel shall be painted using white fire retardant paint that meets Chapter 7 of the 2010 Florida Building Code (FBC) minimum standards for fire resistance rating of one (1) hour.
- Install to include all required components, manufacturer specifications and 2010 Florida Building Code.
- Exact dimensions of existing attic access area and space needed to install ladder to be determined by contracting firm.

- Install Attic access ladder. _____ \$ _____

Add Alternate #3: Garage door opener system: F&I new electric overhead garage door opener system with the following minimums:

- Complete with motor, track, wall pushbutton, and electric eyes.
- Provide two remotes for double-wide garage door.
- Verify and utilize pre-existing wiring.
- Adjust garage overhead door to operate smoothly and correctly.
- Adjust and align photo-eyes.

- F&I Garage overhead door opener system. _____ \$ _____

Add Alternate #4: House gutters: F&I new rain gutters along the rear of the house with the following minimums:

- Rain gutters shall be constructed of vinyl materials that are low maintenance and require no additional painting.
- Gutter shall be continuous along the rear roof line, extending from the rear left house corner to the rear right house corner, complete with leaf guards.
- Installation shall be in accordance with manufacturer's specifications and observe proper pitch of the gutter to facilitate adequate water drainage.
- Provided with three downspouts located at each external house corner. Each downspout with its own individual splash block to channel water away from the house.
- Exact dimensions, quantities, and linear footage of all gutter materials are to be determined by contracting

firm.

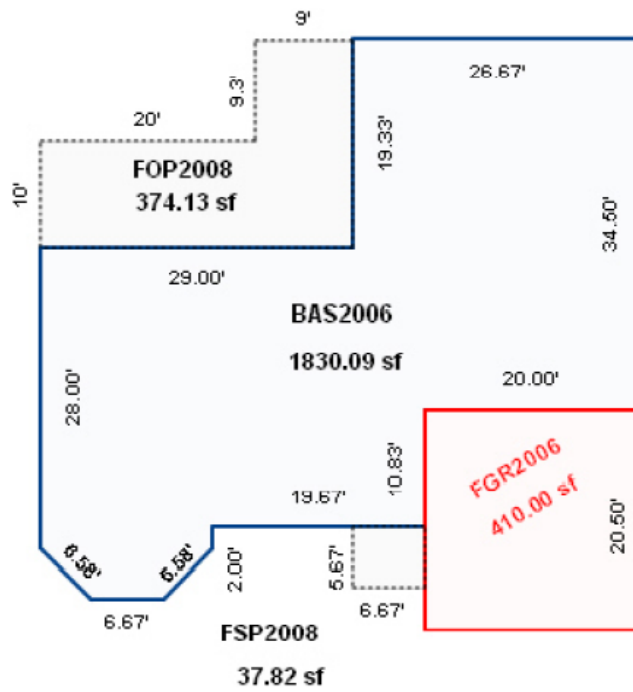
- F&I rain gutters. _____ \$ _____

Add Alternate #5: Verticals and Blinds: F&I vertical blinds for both windows and sliding glass door openings in the following rooms: Family room (3 sets), kitchen (1 set), Dining room (1 set), Living room (1 set). F&I venetian blinds at three (3) windows in Master bedroom, one (1) window in bedroom #2, and one (1) window in bedroom #3.:

- F&I vertical blinds (6 units). _____ \$ _____
- F&I venetian blinds (5 units). _____ \$ _____



EXISTING DWELLING FOOTPRINT -----



(Minus) Contractors discount _____ \$
 Adjusted value of this agreement _____ \$

****Special Notes****

*If applicable, contractor will attempt to match existing items that are being used or provided by the Homeowner as close as possible. Please note it will be impossible to exact match any items that are of a certain date or discontinued. Any and all products included in this scope of work or used in the rehabilitation of corresponding Housing unit(s) shall be installed to the manufactures specifications and all other applicable codes outlined in the Program Rehabilitation Specifications.
 All products included in this scope of work shall be installed to the manufactures specifications.*

All NOA product numbers can be found at www.miamidade.gov/buildingcode/pc-search_app.asp

All products with no NOA # number can be found at www.homedepot.com, www.lowes.com, or other retail outlets where such products are sold

All product brands specified in this scope of work should be used whenever possible; however it is not mandatory to use the specified product brands set forth in this scope of work if the contracting firm can provide reasonable documentation that a product of equal value and quality was responsibly substituted when and/or where necessary.

HOMEOWNER SIGNATURE: _____	DATE: _____
CO-OWNER SIGNATURE: _____	DATE: _____

My signature above reflects my understanding and acceptance of the total initial labor and material cost of \$_____ associated with the aforementioned scope of work. I also understand and accept the possibility that this initial cost can change in unanticipated additional labor or material must be provided by the **CONTRACTOR** for the aforementioned scope of work.

CONTRACTOR Signature: _____	DATE: _____
County Representative Signature: _____	DATE: _____

OFFICIAL USE ONLY

DATE SUBMITTED: _____ **DATE ACCEPTED:** _____ **DATE OPENED:** _____

BID OPENED BY: _____ WITNESSED BY: _____

TIME: _____ WORK WRITE-UP PREPARED BY: _____ Date: _____